

**WHEELING PLAN COMMISSION
THURSDAY, DECEMBER 1, 2016 6:30 P.M.**

**AGENDA FOR A REGULAR MEETING OF THE PLAN COMMISSION
to be held in the Board Room of the Village Hall
2 Community Boulevard, Wheeling, Illinois**

This meeting will stream live and be televised on Wheeling's Cable Channels 17 & 99

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. CHANGES TO THE AGENDA**
- 5. CITIZEN CONCERNS AND COMMENTS**
- 6. CONSENT ITEMS**
 - A) [Docket No. SCBA 16-30](#)
AMB Floral Studio
565 N. Wolf Road
Appearance Approval of a Wall Sign
 - B) [Docket No. SCBA 16-31](#)
Marvy Nails & Spa
765A W. Dundee Road
Appearance Approval of a Wall Sign
- 7. ITEMS FOR REVIEW**
 - A) [Docket Nos. 2016-24 and PC 16-18](#)
Parking Lot
300 S. Milwaukee Avenue
(2016-24) Variation from Title 19, Zoning, Related to Parking Setback
(PC 16-18) Site Plan and Appearance Approval of a Parking Lot
 - B) [Docket No. 2016-21A&C](#) (Continued from November 17th hearing without discussion)
JV Global Services LLC
150 Abbott Drive
(2016-21A) Special Use-Site Plan Approval of a Truck Freight Terminal
(2016-21C) Special Use-Site Plan Approval of Heavy Motor Vehicle Outdoor Storage
- 8. APPROVAL OF MINUTES – none**
- 9. OTHER BUSINESS**
- 10. ADJOURNMENT**

IF YOU WOULD LIKE TO ATTEND A VILLAGE MEETING BUT REQUIRE AUXILIARY AID SUCH AS A SIGN LANGUAGE INTERPRETER, PLEASE CALL (847) 459-2600 AT LEAST 72 HOURS PRIOR TO THE MEETING.

**Public Hearing Information
Wheeling Plan Commission Meeting
December 1, 2016
(Attachment to Agenda)**

Docket No. 2016-21A&C: JerVal, contract purchaser, is seeking the following for the property at 150 Abbott Drive, which is zoned I-3 General Industrial District:

2016-21A Special Use-Site Plan Approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts, Chapter 19-10 Use Regulations, Chapter 19-12 Site Plan Approval Requirements, and associated sections, in order to establish a Truck Freight Terminal; and

2016-21C Special Use-Site Plan Approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts, Chapter 19-10 Use Regulations, Chapter 19-12 Site Plan Approval Requirements, and associated sections, in order to establish Heavy Motor Vehicle Outdoor Storage.

Docket No. 2016-24: Edward Chrzastowski, contract purchaser, is seeking a variation from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.06 Commercial Districts, Section 19.060.040 B-3 General Commercial and Office District, Section E Setbacks, Size & Height Restrictions, and associated sections to reduce the required parking setback for the development of a parking lot at 300 S. Milwaukee Avenue, a vacant property in the B-3 General Commercial and Office District.

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

RE: Docket No. SCBA 16-30
AMB Floral Studio
565 N. Wolf Road
Appearance Approval of a Wall Sign

DATE OF REPORT: November 22, 2016

DATE OF MEETING: December 1, 2016

PROJECT OVERVIEW: The petitioner is seeking appearance approval of a wall sign for a new floral design studio.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

| | | |
|---|--|---------------------------|
| <u>Applicant Name:</u> | Wheeling | Signs, Inc. |
| <u>Property Owner:</u> | Slavonic | Craft, LLC |
| <u>Common Property Address:</u> | 565 N. Wolf Road (H.S.H. Business Condos) | |
| <u>Common Location:</u> | Located on the east side of Wolf Road, at Picardy Lane | |
| <u>Neighboring Property Land Use(s):</u> | North: | Industrial/Office |
| | West: | Single-Family Residential |
| | South: | Multi-Family Residential |
| | East: | Commercial |

Comprehensive Plan Designation: Commercial-Residential Mixed Use
Existing Use of Property: Floral design studio
Existing Property Zoning: MXI Mixed Use Industrial District
Relevant Zoning Action on Property:
none.

PROJECT DESCRIPTION

The petitioner is requesting appearance approval to install a business identification wall sign for a new floral design studio.

SIGNAGE PLAN REVIEW

Sign Location: The proposed sign will be located on the front façade, facing south into the parking lot.

Sign Type and Size: The applicant is proposing to install a wall sign made of a white 0.25 inch thick alumacore panel with white copy and a blue background. The sign will not be illuminated. The sign will be trimmed in a white molding. The proposed sign is 8 feet by 2 feet (16 sq. ft.). The proposed sign meets the requirements of the Sign Code.

STAFF REVIEW

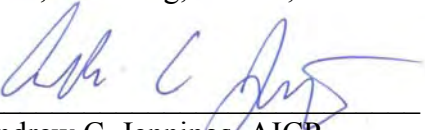
Impact on Adjacent Uses: No impact on adjacent uses is expected.

Staff Recommended Action: Staff recommends approval of the proposed wall sign.

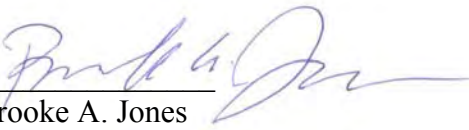
PROPOSED MOTION

If the Plan Commission finds that the petitioner has satisfied the requirements for appearance approval of the wall sign, an appropriate motion would be to:

Approve Docket No. SCBA 06-30 to permit installation of the wall sign in accordance with the sign drawings submitted November 22, 2016 by AMB Floral Studio, located at 565 N. Wolf Road, Wheeling, Illinois;



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachment: [Photo of existing conditions \(staff\)](#)

 [Wall sign plans \(2 sheets\)](#)

AMB Floral Studio – 565 N. Wolf Road
Docket No. SCBA 16-30 (Appearance Approval of Wall Sign)
Plan Commission Meeting – December 1, 2016



Existing conditions of facility – looking north

ALUMACORR SIGN PANEL

WHITE MOLDING BORDER

NON-ILLUMINATED

LENGTH: 8 FT

HEIGHT: 2 FT

THICKNESS: 0.25 IN

ELEVATION: 7 FT 10 IN

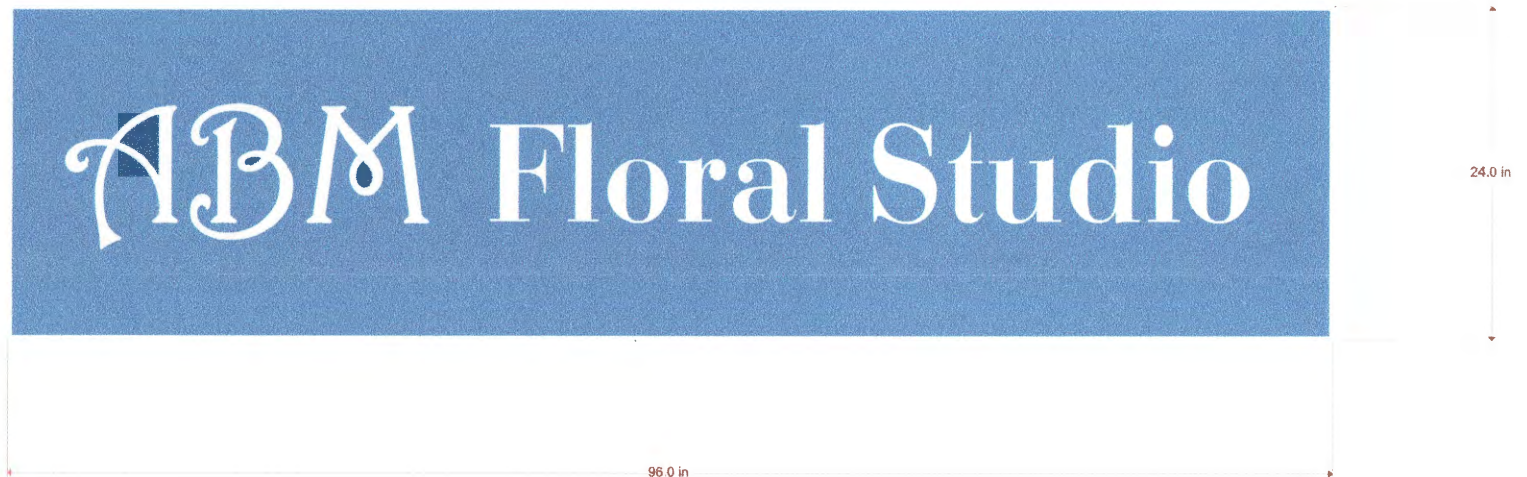
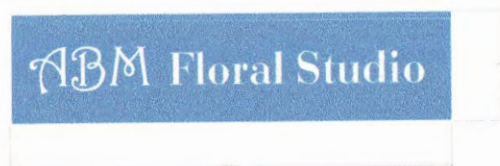


Exhibit received November 22, 2016



ALLUMACOR 1/4"TH with white molding around

Exhibit received November 22, 2016

Located on the south side of Dundee Road between
hurst Road and George Road.

Existing Use of Property:

Personal service establishment

Existing Property Zoning:

MXT Mixed Use Transit Oriented District

Previous Relevant Zoning Action on Property:

None.

PROJECT DESCRIPTION

The business, Marvy Nails & Spa, is requesting appearance approval to install one business identification wall sign.

SIGNAGE PLAN REVIEW

Sign Location: One primary wall sign is proposed on the north façade, facing Dundee Road.

Sign Type and Size: The proposed wall sign is an internally illuminated individual channel letter sign with a graphic element imbedded in the business name. The letters have white faces with black trims and returns. The graphic is white and purple. The sign is 18 sq. ft. in size. The storefront has a 20-foot frontage. The proposed sign meets the requirements of the Sign Code.

STAFF REVIEW

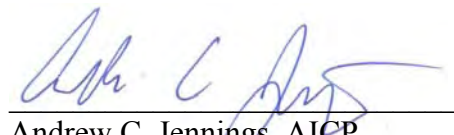
Impact on Adjacent Uses: No impact on adjacent uses is expected.

Staff Recommended Action: Staff recommends approval of the proposed wall sign.

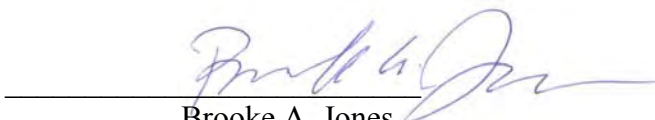
PROPOSED MOTION

If the Plan Commission finds that the petitioner has satisfied the requirements for appearance approval of the wall sign, an appropriate motion would be to:

Approve Docket No. SCBA 16-31 to permit installation of the wall sign in accordance with the sign drawing submitted November 22, 2016 by Marvy Nails & Spa, located at 765A W. Dundee Road, Wheeling, Illinois;



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachments: [Photos of existing conditions \(staff\)](#)

[Wall sign plan](#)

Marvy Nails & Spa – 765A W. Dundee Road
Docket No. SCBA 16-31 (Appearance Approval of Wall Sign)
Plan Commission Meeting – December 1, 2016

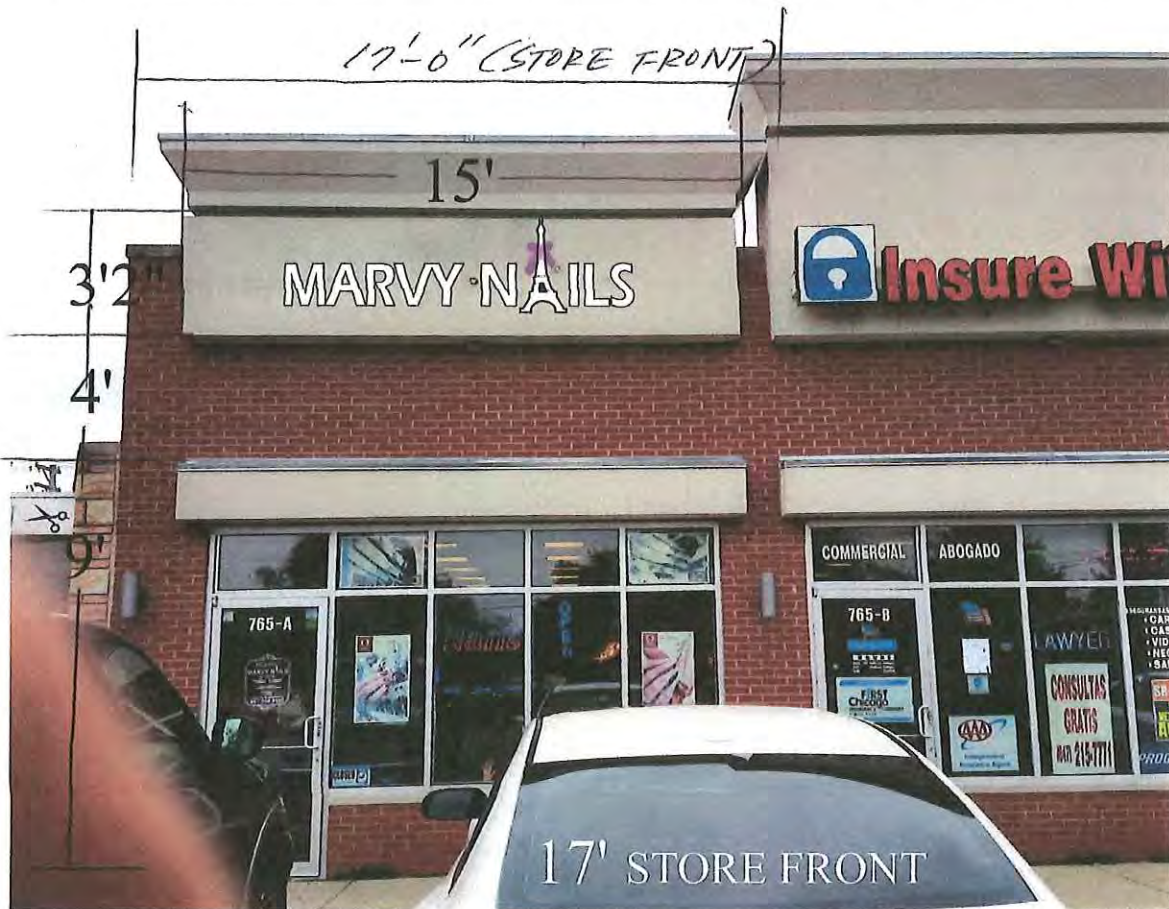


Existing conditions of property – looking south

Illuminate Individual channel Letter

CUSTOMER MARVY NAILS & SPA

LOCATION 765W. Dundee Rd. Wheeling Il 60090



Neon Art Sign

4752 N. Avers Chicago Il 60625

www.neonartchicago.com

hochulshin1@gmail.com

773-588-5883(B) 224-678-3387(C)

FACE ~~WHITE~~ LIGHT PURPLE
TRIM CAP BLACK
RETURN BLACK
RACEWAY
MATCHING WALL COLOR

1. 5" Returns
2. Flexi Glass Face
3. Fasteners For Mounting
4. Led Lights
5. Power Supply
6. Trim Cap
7. Wall
8. Toggle Switch
9. Drain Hole
10. Raceway
11. Iron Angle

Exhibit received November 22, 2016

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke Jones, Senior Planner

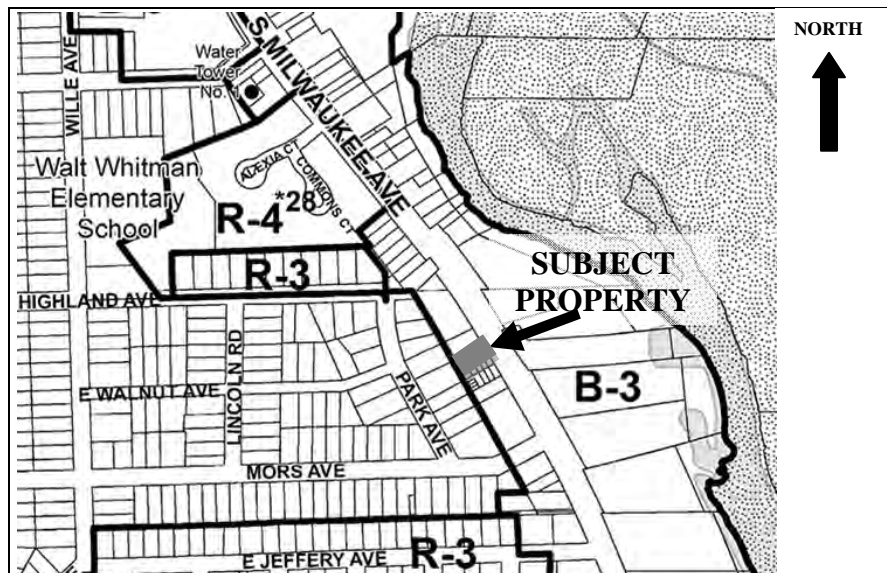
RE: **Docket Nos. 2016-24 and PC 16-18**
(2016-24) Zoning Variation to Reduce the Parking Setback
(PC 16-18) Site Plan and Appearance Approval of a Parking Lot
Consolidated Commercial Properties
300 S. Milwaukee Avenue
Site Plan and Approval for Construction of a Parking Lot

DATE OF REPORT: November 22, 2016

DATE OF MEETING: December 1, 2016

PROJECT OVERVIEW: The petitioner is seeking a zoning variation to reduce the required side yard setbacks for parking and is requesting site plan and appearance approval for the construction of a parking lot at 300 S. Milwaukee for shared public/private use.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Applicant Name: Edward Chrzastowski, Managing Partner of Consolidated Commercial Properties

Property Owner Name: Village of Wheeling

Common Property Address: 300 S. Milwaukee Avenue

| | |
|---|---|
| <u>Common Location:</u> | The property is located on the west side of Milwaukee Avenue, between Highland Avenue and Mors Avenue |
| <u>Neighboring Property Land Use(s):</u> | North: Commercial West: Single-Family Residential South: Commercial East: Commercial |
| <u>Comprehensive Plan Designation:</u> | Commercial |
| <u>Property size:</u> 0.22 | acres |
| <u>Existing Use of Property:</u> | vacant |
| <u>Proposed Use of Property:</u> | Off-street parking |
| <u>Existing Property Zoning:</u> | B-3 General Commercial and Office District |
| <u>Previous Zoning Action on Property:</u> | None. |

DESCRIPTION OF PROPOSAL

The applicant is seeking site plan and appearance approval for a parking lot and a zoning variation to reduce the required side setbacks for parking. The property owner has a contract with the Village for purchase of the vacant lot for use as off-site parking for the employee of the office buildings at 212-224 S. Milwaukee Avenue. The purchase contract with the Village includes an agreement for public use of the parking lot in the evening. Also, the agreement will allow for continued use and access to the Village lift station at the northwest corner of the lot.

The applicant is requesting two parking setback variations. The required parking setback is 10 feet. The proposal includes a setback of 6'6" along the north (side) property line and a setback of 7'6" along the south (side) property line.

SITE PLAN REVIEW

Scale of Site Plan: 1" = 20'

Proposed General Site Layout: The petitioner is proposing to develop an 18 stall parking lot with a single access point from Milwaukee Avenue. In order to achieve the required parking stall depth and drive aisle width, parking setback variations are required from each side property line.

Ownership: The petitioner has a contract with the Village to purchase the subject property.

Sidewalks: There is an existing concrete walk in the public right-of-way.

Existing Landscaping to remain: Two existing trees on the north property line will remain.

Landscaping: To screen the proposed parking lot from Milwaukee Avenue, a total of 15 Green Beauty Boxwoods will be planted on the eastern portion of the site in the grassy area between the parking and public walk. The non-paved portion of the site will be grass.

Lighting: A photometric plan and light pole plan have been provided. It appears that the lighting meets the requirements of the Zoning Code.

STANDARDS FOR VARIATION

Following are standards for variation with petitioner's responses. *The petitioners' response to the following questions has been shown in italics.* **Staff comments are in bold.**

1. State how the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a practical difficulty or particular hardship upon or for the owner, lessee or occupant, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

"In order to create a nominal 20 parking spaces, and apply the code required parking stall and drive aisle parameters, the standard property set-backs cannot be adhered to. Otherwise the zoning requirements can be met."

If not granted the variation, the property is not wide enough to build a parking lot to code.

2. Indicate how the hardship is due to unique circumstances that do not generally apply to the other properties or uses.

"Fortunately, the rear of the property is buffered by a public easement and a residential backyard, and meets the setback requirements. The south border of the property is already buffered by a 6 foot fence and commercial building. The north border of the property is a parking lot. Neither of these are sensitive to the setback variance."

The subject property is underutilized as a Village-owned parcel. The proposed parking plan will offer a public-private use.

3. Describe how the alleged difficulty or hardship has not been created by any person presently having an interest in the property.

"The existing property is a Village owned lot, which has little to no other practical use, other than the proposed use as a private/public parking lot. It is too small to support a structure, and a parking lot is the only real application of the property."

This Village owned property will provide a public and private benefit if the variation is granted and a parking lot is constructed.

4. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.

"The property is physically too small to support any other real application. The commercial property to the south has no interest in the property for expansion, now or in the foreseeable future."

future. The commercial property to the north will benefit from the Public aspect of the improvement (public parking attribute). The surrounding community can also benefit with the public parking reversion after hours. The Village Public Works gains clear access to a Village Owner sewer lift-station. There are no present or future negative impacts.

Without the parking variation, the project will not be developed.

5. State how the granting of the variation will not alter the essential character of the locality.

“There are no known impacts the variation shall have. Very limited impact in appearance or character to the neighborhood is foreseen. Likely no one will even notice any change.”

The variation, if granted, will allow for the development of a vacant lot into a public/private parking lot. The appearance of the lot will be vastly improved and will enhance the character of the area.

6. Describe how the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

“The proposed variation will have no impact on adjacent properties, but will allow for off-site parking for surrounding businesses during off-hours, and the office-retail buildings at 212-224 S. Milwaukee Avenue during regular business hours. No additional traffic, noise, or odor shall be produced as a result of the variation. No new buildings are included in the plans if this variation is granted. Access shall not be compromised, but improved.”

No negative impact is expected as a result of the granting of the variation.

STAFF REVIEW

Fire Department Review: The Fire Department has received the plans for review and has no formal comments at this time.

Engineering Division Review: The Engineering Division has submitted comments dated 11.21.2016. Two comments are related to the existing Public Works sanitary lift station at the northwest corner of the site. Staff has drafted two conditions of approval for Docket No. PC 16-18 to allow for continued Village access to the lift station.

Impact on adjacent uses: The impact on adjacent uses will be positive in that the underutilized lot will be redeveloped into a public/private parking lot.

Staff Recommended Action: Staff suggests approval of the proposed parking lot plans and setback variation.

PROPOSED MOTIONS

If the Plan Commission finds that the petitioner has satisfied the requirements for a parking setback variation and site plan and appearance approval of a parking lot, appropriate motions would be to:

Recommend approval of Docket No. 2016-24, granting a variation from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.06 Commercial Districts, Section 19.060.040 B-3 General Commercial and Office District, Section E Setbacks, Size & Height Restrictions, and associated sections to reduce the required parking setback from ten (10) feet to six and a half (6.5) feet along the north property line and to seven and a half (7.5) feet along the north property line, in accordance with the site plan submitted November 2, 2016 for the development of a parking lot at 300 S. Milwaukee Avenue.

And recommend approval of Docket No. PC 16-18 Site Plan and Appearance Approval for the construction of a parking lot as indicated on the following exhibits submitted by Consolidated Commercial Properties, on November 2, 2016 (except as noted), for 300 S. Milwaukee Avenue, Wheeling, Illinois:

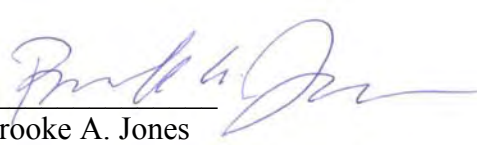
- Cover letter (November 3, 2016),
- Engineering Plans (4 sheets including existing conditions and geometric/paving plan),
- Landscape Plan,
- Photometric Plan, and
- Light Pole Installation Plan.

And with the following conditions of approval:

1. The parking stall at the northwest corner of the site (next to lift station) shall be reserved for use by the Village.
2. Prior to permit issuance, a blanket easement shall be drafted and recorded to allow Village access to the sanitary lift station.



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachments: [Engineering Division memo, dated 11.21.2016](#)

[Photos of existing conditions \(staff\)](#)

[Cover letter](#)

[Engineering Plans \(4 sheets including existing conditions and geometric/paving\)](#)

[Landscape Plan](#)

[Photometric Plan](#)

[Light Pole Installation Plan](#)



MEMORANDUM

TO: Brooke Jones, Senior Planner

FROM: Kyle Goetzelmann, Civil Engineer I

COPY: Jon Tack, Village Engineer

DATE: November 21st, 2016

SUBJECT: New Parking Lot Construction
300 S. Milwaukee Ave - Review Comments

The Engineering Division received a cover letter, engineering plan set, plat of survey, landscaping plan, and photometric plan for the subject property November 8th, 2016.

The Engineering Division has completed a review of the above referenced submittal and offers the following comments at this time:

1. IDOT permit needed to perform work in Milwaukee Ave ROW.
2. Village of Wheeling Engineering Permit will be required.
3. Dedicated parking stall on the west side of the lot needed for public works access to sanitary lift station.
4. Blanket easement needs to be drafted and recorded to allow Village of Wheeling access to sanitary lift station.

New Parking Lot – 300 S. Milwaukee Avenue

**Docket Nos. 2016-26 & PC 16-18 (Zoning Variation to Reduce the Required Parking Setback
and Site Plan & Appearance Approval of a Parking Lot)**

Plan Commission Meeting – December 1, 2016



Existing conditions along Milwaukee Avenue (looking west)

November 3, 2016

Ms. Brooke Jones
Senior Planner Village of Wheeling
Planning Division/Community Development
2 Community Blvd.
Wheeling, Illinois 60090

Edward Chrzastowski
212 S. Milwaukee Avenue
Lower Level
Wheeling, Illinois 60090

Re: 330 S. Milwaukee Avenue
Wheeling, Illinois 60090
Request a Variance to the Villages Property Set-Back Ordinance

Ms. Jones:


In pursuit of securing additional parking for my office/retail buildings located at 212-224 S. Milwaukee Avenue, I have entered into an agreement with the Village of Wheeling for the purchase of the currently empty lot located at 330 S. Milwaukee Avenue. I plan on developing the empty lot into an "off-site" parking lot in support of the office/retail.

I am requesting the Village review and approve a variance to the Village's Set-Back Ordinance. In order to provide for a code compliant parking lot, having the appropriate drive aisle and individual parking space dimensions, the design will require encroachment into the nominal code set-back requirements from the property lines.

I feel that given the encroachment will need to take place where a 6 foot high fence exists in one instance, and adjacent to an existing parking lot in another, that it should not be objectionable or detrimental to any of the surrounding properties.

Contact me if you have any questions.

Sincerely,



Edward Chrzastowski

Exhibit received November 3, 2016

PARKING LOT

300 S. MILWAUKEE AVENUE

VILLAGE OF WHEELING, ILLINOIS

STANDARD SYMBOLS

| FEATURE | EXISTING | PROPOSED |
|-----------------------------|----------|----------|
| BUFFALO BOX | | |
| BUSH/SHRUB | | |
| CATCH BASIN | | |
| CLEANOUT | | |
| COMBINE SEWER LINE | | |
| CONTOUR | | |
| CULVERT | | |
| DITCH/SWALE | | |
| ELECTRIC LINE | | |
| ELECTRIC MANHOLE | | |
| FENCE | | |
| FIBER OPTIC LINE | | |
| FIRE HYDRANT | | |
| FLARED END SECTION | | |
| GAS LINE | | |
| GAS MANHOLE | | |
| GAS VALVE | | |
| GUY WIRE | | |
| INLET | | |
| LIGHT POLE | | |
| OVERHEAD WIRES | | |
| POWER POLE | | |
| R.O.W LINE | | |
| R.O.W MARKER | | |
| SANITARY FORCEMAIN LINE | | |
| SANITARY SEWER LINE | | |
| SANITARY SEWER MANHOLE | | |
| SIGN | | |
| SPOT ELEVATION | | |
| STORM SEWER LINE | | |
| STORM SEWER MANHOLE | | |
| TELEPHONE LINE | | |
| TELEPHONE MANHOLE | | |
| TELEPHONE BOX/PEDESTAL | | |
| TREE-CONIFEROUS (SIZE/TAG#) | | |
| TREE-DECIDUOUS (SIZE/TAG#) | | |
| UNDERGROUND ELECTRIC LINE | | |
| VALVE BOX | | |
| VALVE VAULT | | |
| WATER VALVE | | |
| WATERMAIN LINE | | |

EXISTING UTILITIES: WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

J.U.L.I.E.

JOINT
UTILITY
LOCATION
INFORMATION FOR
EXCAVATION
CALL 811



Know what's below.
Call before you dig.

NOTE: CONSTRUCTION MEANS, METHODS AND JOB
SITE SAFETY IS THE SOLE AND EXCLUSIVE
RESPONSIBILITY OF THE CONTRACTOR

LOCATION MAP



PROJECT LOCATION

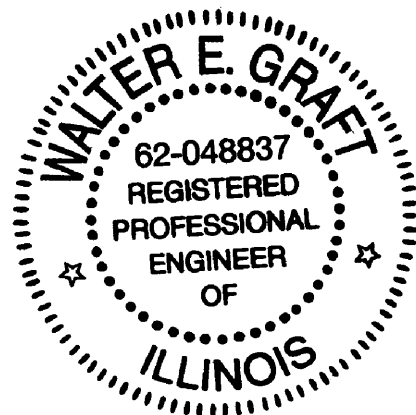
300 S. MILWAUKEE AVENUE
WHEELING, ILLINOIS

BENCHMARK:

T/FND @ S.E. CORNER OF CHICAGO BAGEL & BIALY DELI SIGN BASE,
ELEV. = 648.35

CONTROL POINTS:

| Point Table | | | | |
|-------------|------------|------------|-----------|-------------|
| Point # | Northing | Easting | Elevation | Description |
| 38 | 1992211.18 | 1100705.09 | 648.37 | CUTXT |
| 302 | 1992201.08 | 1100558.16 | 646.73 | IP |
| 317 | 1992132.27 | 1100596.67 | 647.06 | IP |



SHEET INDEX

- TITLE SHEET
- DEMOLITION & IMPROVEMENT PLAN
- GENERAL NOTES
- DETAILS

PROPERTY OWNER:

Consolidated Commercial Properties, LLC
212 S. Milwaukee Avenue
Wheeling, Illinois 60090
Telephone: 847-215-0690

TOPOGRAPHIC SURVEY BY:

Accurate Survey Service
1870 Busse Hwy. Suite 201 B
Des Plaines, Illinois 60016
Telephone: 847-299-4001

COORDINATING/PERMITTING AGENCIES:

Village of Wheeling
Engineering Department 847-459-2985
Illinois Department of Transportation (I.D.O.T.) 847-705-4131

NOT FOR CONSTRUCTION

GHA GEWALT HAMILTON
ASSOCIATES, INC.

625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

COPYRIGHT NOTICE

This drawing is the property of Gewalt-Hamilton Assoc., Inc. and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from Gewalt-Hamilton Associates, Inc.

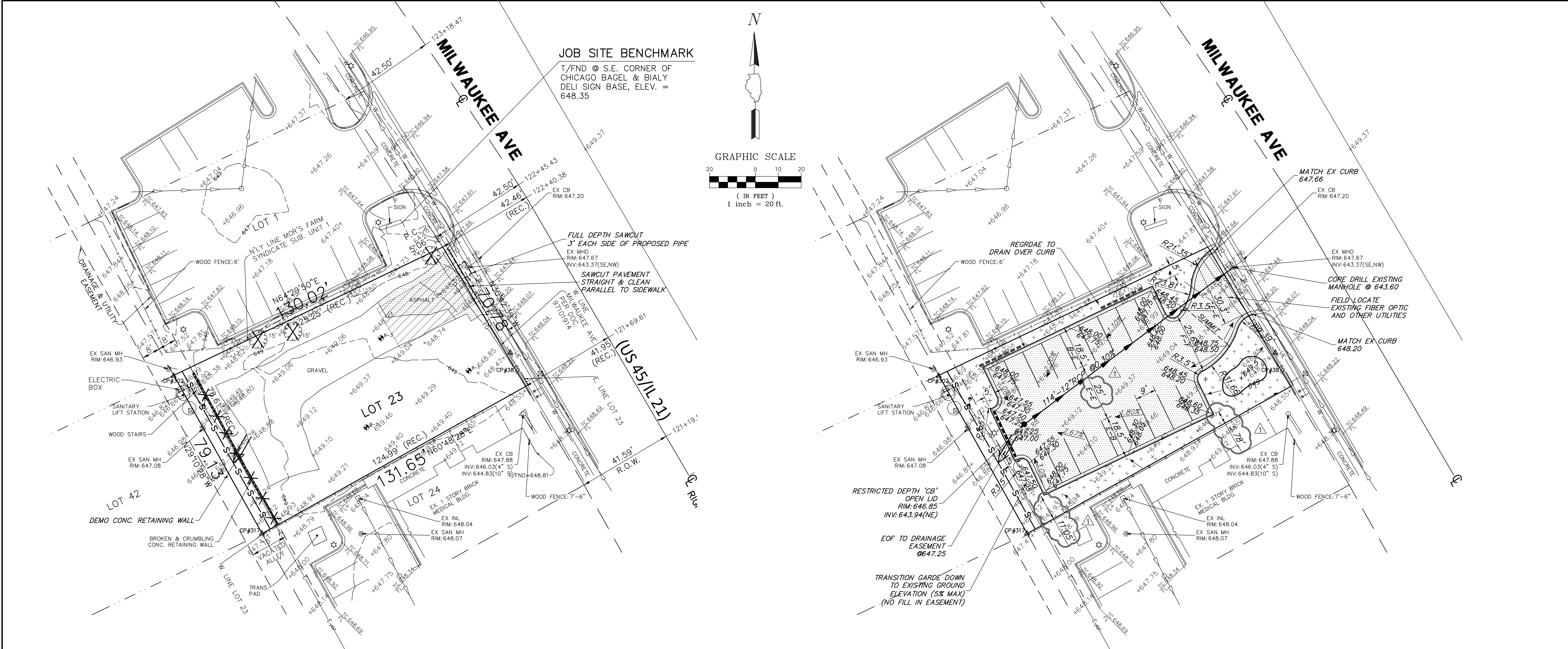
TITLE SHEET

PARKING LOT
300 S. MILWAUKEE AVENUE
VILLAGE OF WHEELING, ILLINOIS

| | | | | | | |
|-----|-----|---------|--------------------|---------------------------------|---------------------------|--|
| | | | | FILE: 5118 PR1.dwg | | SHEET NUMBER: 1 OF 4 SHEETS |
| | | | | DRAWN BY: CSB DATE: 03-18-16 | GHA PROJECT # 5118.300 | |
| | | | | CHECKED BY: DATE: | SCALE: N/A | |
| 1 | LLM | 4-20-16 | PER VILLAGE REVIEW | | | |
| NO. | BY | DATE | REVISION | | | |

Exhibit received November 2, 2016

5118.300 - PARKING LOT 300 S. MILWAUKEE AVENUE



DEMOLITION LEGEND

- PAVEMENT REMOVAL - FULL DEPTH
- TREE OR LANDSCAPE REMOVAL AND STUMPING TO BE DONE BY WHEELING PARK DISTRICT
- RETAINING WALL REMOVAL
- FULL DEPTH SAWCUT
- SILT FENCE
- ROCK CONSTRUCTION ENTRANCE

TREE PRESERVATION NOTES

- PRIOR TO CONSTRUCTION AND WITH THE COORDINATION OF THE VILLAGE ARBORIST, THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING. IN CONJUNCTION WITH THE INSTALLATION OF THE FENCE, ROOT PRUNING WILL BE DONE ADJACENT TO THE FENCE. ROOT PRUNING SHALL BE DONE WITH A "DITCH WITCH" OR OTHER MECHANICAL DEVICE APPROVED BY THE VILLAGE ARBORIST WHICH CLEANLY CUTS THE ROOTS TO A MINIMUM DEPTH OF TWO FEET.
- EXISTING VEGETATION WHICH IS TO REMAIN, SHALL BE PROTECTED AGAINST UN-NECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING AND BRUSHING OF BARK, SMOOTHING BY STOCKPILING OF CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN THE DRIP LINE, EXCESSIVE FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN THE DRIP LINE.
- EXISTING VEGETATION WHICH IS TO REMAIN, SHALL BE WATERED AS REQUIRED TO MAINTAIN ITS HEALTH DURING THE COURSE OF THE CONSTRUCTION OPERATIONS AND IS THE CONTRACTOR'S RESPONSIBILITY. SOIL MOISTURE SHALL BE MONITORED WEEKLY. ANY NECESSARY WATERING SHALL BE COORDINATED WITH THE VILLAGE ARBORIST.
- VEGETATION THAT BECOMES DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED/REPLACED, IN A MANNER ACCEPTABLE TO THE VILLAGE ARBORIST.
- ALL FENCE SHALL BE BRIGHT ORANGE PLASTIC MESH WITH METAL POSTS DRIVEN INTO THE GROUND AT A MINIMUM OF 8 FOOT ON CENTERS. AT THE DISCRETION OF THE CONTRACTOR, CHAIN LINK FENCE MAY BE SUBSTITUTED IN LIEU OF THE PLASTIC MESH FENCE AND USED IN CONJUNCTION WITH THE PROJECT PERIMETER FENCING. THE CONTRACTOR SHALL MAINTAIN THE FENCE AND IMMEDIATELY REPAIR DAMAGED SECTIONS.

EXISTING CONDITION / DEMOLITION PLAN

DEMOLITION AND SITE PREPARATION

- MILWAUKEE AVENUE (ILLINOIS ROUTE 21) IS UNDER JURISDICTION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION. ANY WORK WITHIN MILWAUKEE AVENUE RIGHT OF WAY WILL REQUIRE A PERMIT FROM IDOT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SILT FENCE AS SHOWN ON THIS SHEET.
- PROVIDE TREE PROTECTION AS SHOWN AND AS OUTLINED ON THIS SHEET. ROOT PRUNING IS REQUIRED.
- CONSTRUCTION ACCESS WILL BE LIMITED TO MILWAUKEE AVENUE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FENCING THE ACTIVE WORK ZONE FROM THE PUBLIC AND PROTECTING THE PUBLIC FROM ANY CONSTRUCTION RELATED HAZARDS. AS A MINIMUM, ALL EXCAVATIONS, DEMOLITION AREAS AND OTHER AREAS POTENTIALLY HAZARDOUS TO PEDESTRIANS AND VEHICLES MUST BE PROTECTED.
- ALL CONDUITS, CABLES, PIPES, ETC. SHALL BE LOCATED AND THOSE TO REMAIN IN SERVICE SHALL BE PROTECTED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND DISPOSAL OF ALL EXISTING IMPROVEMENTS ONSITE NECESSARY TO COMPLETE THE JOB. THESE IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO, EXISTING PAVEMENTS, CURBS, SIDEWALKS, UTILITIES, POST FOUNDATIONS, MANHOLES, FENCES, RETAINING WALLS, AND OTHER STRUCTURES WITHIN THE WORK AREA. THESE ITEMS SHALL BE COMPLETELY REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- CONTRACTOR SHALL REFER TO SUBSURFACE EXPLORATION AND GEOTECHNICAL REPORT PREPARED BY HOLMES TESTING, INC DATED SEPTEMBER 25, 2014 FOR GROUND CONDITIONS.

GEOMETRIC AND PAVING PLAN

GEOMETRIC AND PAVING PLAN

PROPOSED LEGEND

- BITUMINOUS PAVEMENT - SEE VILLAGE PARKING LOT DETAIL FOR RESPECTIVE SECTION THICKNESS
- PAVEMENT PATCH 2" HMA SURFACE 4" HMA BINDER
- 6" TOPSOIL, SEED AND BLANKET
- M3.12 CURB & GUTTER
- M3.12 CURB & GUTTER PITCH OUT
- TREE ROOT PRUNING

- ALL PAVEMENT DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. E-EDGE OF PAVEMENT, B-BACK OF CURB. F-FACE OF CURB RADI DIMENSIONS ARE TO BACK OF CURB.
- MACHINE CORE EXISTING STORM STRUCTURE AND INSTALL STORM SEWER AS SHOWN. REFER TO STORM NOTES ON SHEET 3 FOR ADDITIONAL REQUIREMENTS.
- VERIFY EXISTING UTILITY DEPTHS PRIOR TO COMPLETING ANY WORK. HAND DIG AND EXPOSE ALL UTILITIES PRIOR TO COMPLETING REMOVALS, GRADING AND UTILITY INSTALLATION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED ANY FURTHER UNTIL GIVEN WRITTEN CLARIFICATION ON HOW TO RESOLVE THE CONFLICT.
- INSTALL ALL CURB AND PAVEMENT AS SHOWN. REFER TO PAVING NOTES SHEET 3 FOR CONCRETE AND PAVEMENT MATERIAL, INSTALLATION AND TESTING.
- SUBGRADE SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY UNLESS OTHERWISE NOTED. SUBBASE STONE AND TRENCH BACKFILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL IMPORT OR EXPORT SOIL AS NECESSARY TO CONSTRUCT THE SITE TO THE SPECIFIED PLAN GRADES. SUCH WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR SUCH WORK. CRUSHED CONCRETE SHALL NOT BE ALLOWED FOR PAVEMENT BASE COURSE OR TRENCH BACKFILL.
- GRADE ALL OFF ROAD AREAS TO DRAIN OVER THE CURB TO THE RECEIVING STORM SYSTEM.
- ALL DISTURBED AND PROPOSED GREEN AREAS ARE TO HAVE ALL DEBRIS REMOVED AND REPLACED WITH SIX INCHES OF PULVERIZED TOPSOIL AND FINE GRADED. TOPSOIL SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR. EXISTING ONSITE TOPSOIL OR IMPORTED TOPSOIL MAY BE USED AT THE CONTRACTOR'S DISCRETION. HOWEVER, THE COST OF IMPORTING TOPSOIL SHALL BE AT THE CONTRACTOR'S OWN EXPENSE. ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED. RESTORE ALL DISTURBED TURF AREAS WITH IDOT CLASS 1 SEED AND FERTILIZER PER IDOT SPECIFICATIONS AND NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PER IDOT SPECIFICATIONS.
- ALL PARKING LOT STALL MARKINGS SHALL BE 4" YELLOW POINT AND ALL PAVEMENT MARKING ON MAIN ENTRANCE ROAD, AND CROSS WALKS SHALL BE PAINT, COLOR AS NOTED, IN ACCORDANCE WITH SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS. (TWO COATS REQUIRED). SITE PAVEMENT MARKING SHALL BE COORDINATED WITH SITE ENGINEER. CONTRACTOR SHALL NOTIFY SITE ENGINEER 48 HRS PRIOR TO INSTALLING PAVEMENT MARKING.
- CONTRACTOR SHALL REMOVE SILT FENCE AND RESTORE IN KIND.



625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

COPYRIGHT NOTICE

This drawing is the property of Gewalt-Hamilton Assoc., Inc. and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from Gewalt-Hamilton Associates, Inc.

DEMOLITION & SITE IMPROVEMENTS

**PARKING LOT
300 S. MILWAUKEE AVENUE
VILLAGE OF WHEELING, ILLINOIS**

| NO. | BY | DATE | REVISION |
|-----|-----|---------|--------------------|
| 1 | LLM | 4-20-16 | PER VILLAGE REVIEW |

Exhibit received November 2, 2016

FILE: 5118 PR1.dwg

DRAWN BY: CSB

DATE: 03-18-16

CHECKED BY:

DATE:

GHA PROJECT #

5118.300

SCALE:

1:20

SHEET NUMBER:

2

OF 4 SHEETS

5118.300 - PARKING LOT 300 S. MILWAUKEE AVENUE

GENERAL NOTES

1. It shall be the responsibility of the developer (owner) and the contractor to abide by, adhere to and perform all work in accordance with the requirements, specifications, standards, practices, policies and codes of the Village of Wheeling which includes but is not limited to labor, materials, procedures and safety.
2. Underground construction shall comply with the applicable ordinances and requirements of the Village of Wheeling and the Illinois Department of Transportation "Specifications for Road and Bridge Construction", latest edition, and the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition. All construction shall conform to the Illinois Recommended Standards for Sewerage Works, latest edition, published by the Illinois Environmental Protection Agency (I.E.P.A.) except for conflicts with the Metropolitan Water Reclamation District of Greater Chicago (M.W.R.D.G.C.) Sewer Permit and Manual of Procedures Ordinances. In case of a conflict the most restrictive standards and requirements shall govern.
3. All paving and excavation work shall comply with the applicable ordinances of the Village of Wheeling and the Illinois Department of Transportation "Specifications for Road and Bridge Construction" latest edition. In case of a conflict, the most restrictive standards and requirements shall govern.
4. The contractor shall field check and verify all existing utility locations, dimensions and elevations in the field prior to the commencement of construction of the improvements or proposed work. All existing utility locations on the plans have been shown based on best available information. Notify the engineer immediately if discrepancies are found.
5. Any changes, revisions or substitutions to the plans, specifications, materials, requirements or work shall be submitted to the Village Engineer, in writing, with written approval by the Village Engineer received prior to beginning said work. All materials and construction whether implicitly or explicitly stated or covered within the requirements, codes or specifications, shall be approved by the Village Engineer, prior to commencing the installation and construction.
6. The contractor must contact J.U.U.L.I.E. at 1-800-892-0123 at least 48 hours prior to starting work. All other agencies shall also be notified as required.
7. The contractor shall notify the Village of Wheeling Engineering Division at (847) 459-2620 and the Metropolitan Water Reclamation District of Greater Chicago (708) 588-4055 two (2) business days prior to the start of construction.
8. It shall be the responsibility of the contractor to call the Village at 847-459-2620 at least 48 hours in advance and set up the necessary and proper inspection(s) for all work to be performed.
9. One set of stamped approved plans shall be on site at all times during construction of the project.
10. It is the responsibility of the contractor to maintain and keep at the job site, an up to date set of "Record Drawings" showing all changes from the original plans. The contractor shall deliver the "Record Drawings" to the engineer at the conclusion of the project, prior to any final inspections. The engineer will transfer the information to the original plans by incorporating the Village of Wheeling As-Built requirement list and furnish the Village three (3) sets of complete "Record Drawings," and, if required, one (1) set of electronic version of the Record Drawings and Site Information at the completion of the project.
11. The location of all service connections for sanitary sewer, storm sewer and water shall be shown from the closest manhole or deep vault. All trenches and cleanouts must be shown with tied dimensions. The elevation of all rims and inverts shall be verified by the contractor and shown on the "Record Drawings".
12. OSHA rules, regulations and requirements shall be strictly adhered to during the execution of all work to be performed under the approved drawings.
13. The contractor shall provide video tape(s) or still pictures as required by the Village Engineer prior to the commencement of work.
14. The contractor shall restore all disturbed off-site areas to at least a condition that existed prior to construction.
15. All unpaved areas of the right-of-way are to be sodded. Restore right-of-way with six (6) inches of topsoil and sod.
16. All existing field drainage tiles encountered or damaged during construction are to be restored to their original condition, properly rerouted and/or connected to the storm sewer system.
17. Storm and sanitary sewer lines shall be cleaned of all construction debris and silt prior to Village inspection.
18. All independent testing to be paid for by the developer. Testing to be conducted at the discretion of the Village.
19. All obstructions that are not approved by the Village and which currently exist in the right-of-way shall be removed, which include all rocks and boulders.
20. All septic and/or well abandonment's shall be in accordance with the requirement of the Village of Wheeling.
21. The contractor shall refer to mitigation or landscape plans for complete information regarding planting locations, wetlands, walkways, walls, and stream and pond shorelines, if applicable.
22. An iron pipe shall be found and located or set at each lot corner.
23. All elevations are based upon NAVD 88 Datum.

STORM SEWER

1. All storm sewer pipes in the public right-of-way shall be reinforced concrete pipe conforming to ASTM C-76 Class IV with confined O-ring gasket joints in compliance with ASTM C-361 or Tylox Super Seal gasket conforming to ASTM C-361.
2. Minimum diameter of storm sewer shall be 12" unless approved otherwise.
3. No storm water shall be discharged to the sanitary sewer system.
4. All storm structures are to have open (grate) lids unless specified as having closed lids (C.L.). All closed lids shall have the words "Village of Wheeling - Storm" casted in it.
5. Rim grades for storm sewer structures located within the curb and gutter are flow line elevations. Elevations of flared end sections shall be interpreted at the invert of the flared end section.
6. A maximum adjustment of twelve inches (12") or three (3) concrete adjusting rings will be permitted for any structure.
7. Inlets shall be connected to a storm sewer after flowing through a catch basin and shall not discharge directly to the storm sewer.
8. All manholes shall be TY A with a minimum inside diameter of 48 inches.
9. All downspouts, footing drains, and outside drains shall discharge to the storm sewer or over ground as approved by the Village of Wheeling.
10. All sump pump drain tile discharges shall be routed to the storm sewer system. Sump pump service connections shall be for 4" inch diameter PVC SDR 26 conduit conforming to ASTM D2751 or ASTM D3034 at a minimum slope of 2% and shall be air gapped. Minimum cover shall be two (2) feet, wherever possible.

GENERAL UNDERGROUND UTILITIES

1. All sewer construction shall conform to the approved permit plans unless revisions have been approved by the Village, as well as any and all other Agencies.
2. Trench backfill shall be provided under and within two feet (2') of all existing and proposed pavement. Concrete Curb & Gutter shall be considered a part of the existing and proposed pavement. Trench backfill material shall be CA-6, Grade 8, Crushed Limestone, virgin material unless otherwise approved.
3. All manholes and catch basin structures must be a minimum of 48" in diameter, valve vaults must be a minimum of 60" diameter, unless approved otherwise.
4. All sewer construction requires stone bedding 1/4" to 1" in size, (I.D.O.T. equivalent CA-11, CA-13) with a minimum thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than four (4) inches, nor greater than eight (8) inches.
5. If required, all trenches shall be dewatered PRIOR to laying any pipe or jointing. Trenches shall be dewatered to maintain the water level below the base of the bedding.
6. Structures shall have a maximum of twelve inches (12") of adjustment rings with any combination up to a maximum of three (3) rings.
7. Concentric cone sections shall be used on all manholes, catch basins, vaults, etc. unless approved otherwise by the Village Engineer.
8. All storm, sanitary and watermain services to end at R.O.W. with proper termination for subdivision construction.
9. The contractor shall mark location of the ends, if necessary, of any sanitary, water, and storm services with buried 4" x 4" wood posts extending a minimum of three (3) feet out of the ground and painted red, blue, and green respectively, with appropriate signs attached stating "caution B-box do not remove until landscaping is complete."
10. A minimum ten feet (10') horizontal separation shall be maintained between watermain and sewer or drain lines unless precluded by local conditions. When the watermain is located closer than ten feet (10') horizontally or the invert of the watermain is located closer than eighteen inches (18") vertically above the crown of any sewer or drain line, then:
- The sewer or drain line shall be constructed of pipe equivalent to watermain standards and shall be pressure tested to assure water tightness in accordance with the Illinois Environmental Protection Agency (I.E.P.A.) requirements.
11. When a watermain is crossing over a sewer or drain line closer than eighteen inches (18") vertically above the crown of that sewer or drain line, then that sewer or drain line shall be constructed according to the requirements listed in item 10 above.
12. If the watermain passes under a sewer or drain line, the following conditions shall be met: a vertical separation of eighteen inches (18") between the invert of the sewer or drain line and the crown of the watermain shall be maintained with support provided for the sewer or drain line(s) to prevent any moving or settling, rupture or breaking, and sewer or drain line shall be constructed as described in item 4) above.
13. The cost of all required testing of underground utilities shall be incidental to the construction cost of the same.
14. When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole. The sewer shall be circular saw-cut by proper tools ("sewer-tap" machine or similar) and proper installation of hub-wye saddle or hub-tee saddle.
15. Sewer connections to an existing structure shall be machine cored.
16. A flexible rubber boot shall be used at all sanitary sewer manhole penetration connections.
17. Protect and/or cover all pipes and underground structures until final grading, paving and landscaping are complete.
18. For modification or repair of all sewers; addition of, or repair of, sewer clean outs, non shear couplings shall be used in connection of sewer pipes with prior approval from Village Engineering Division of Community Development Department.

PAVING

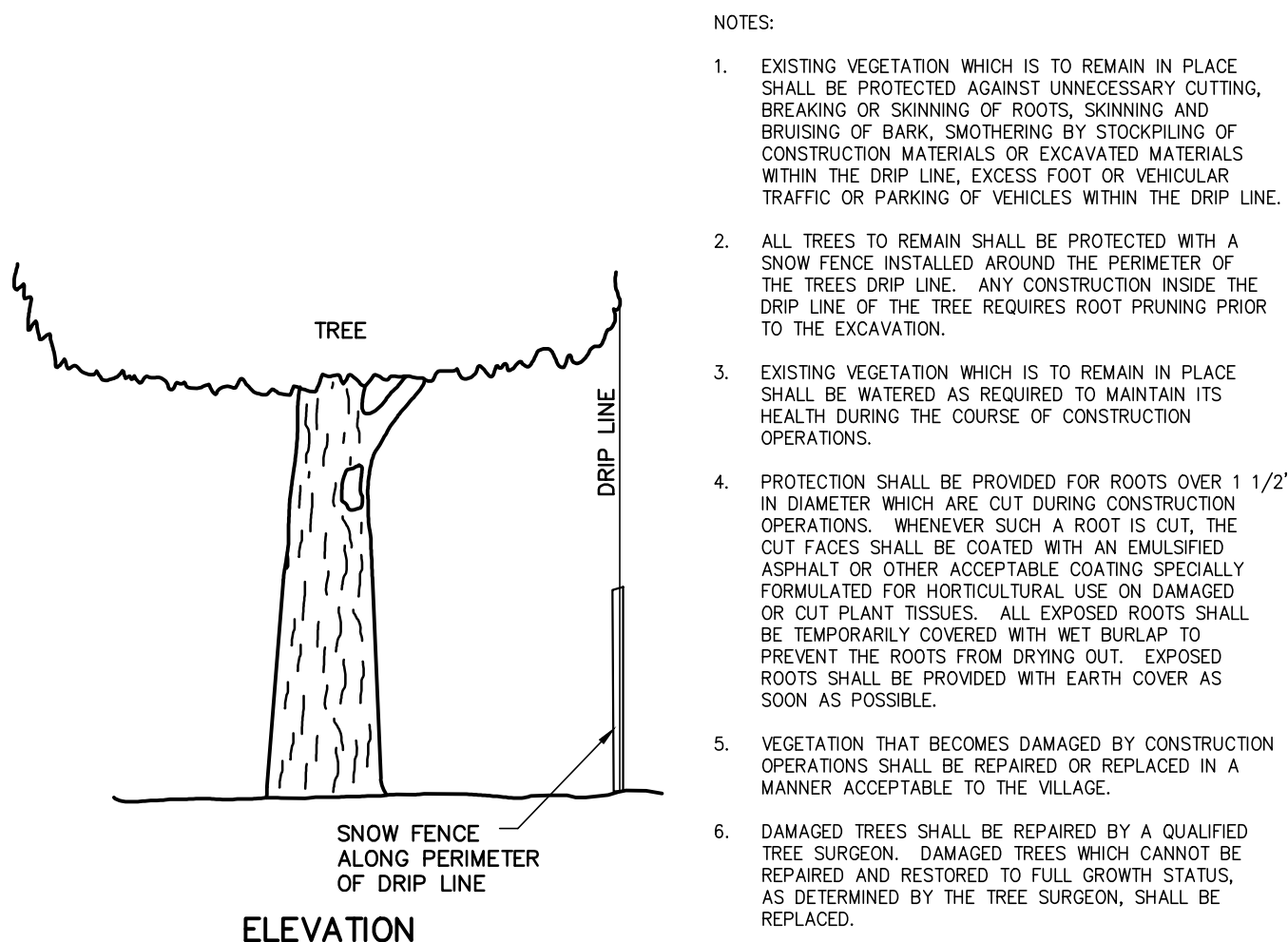
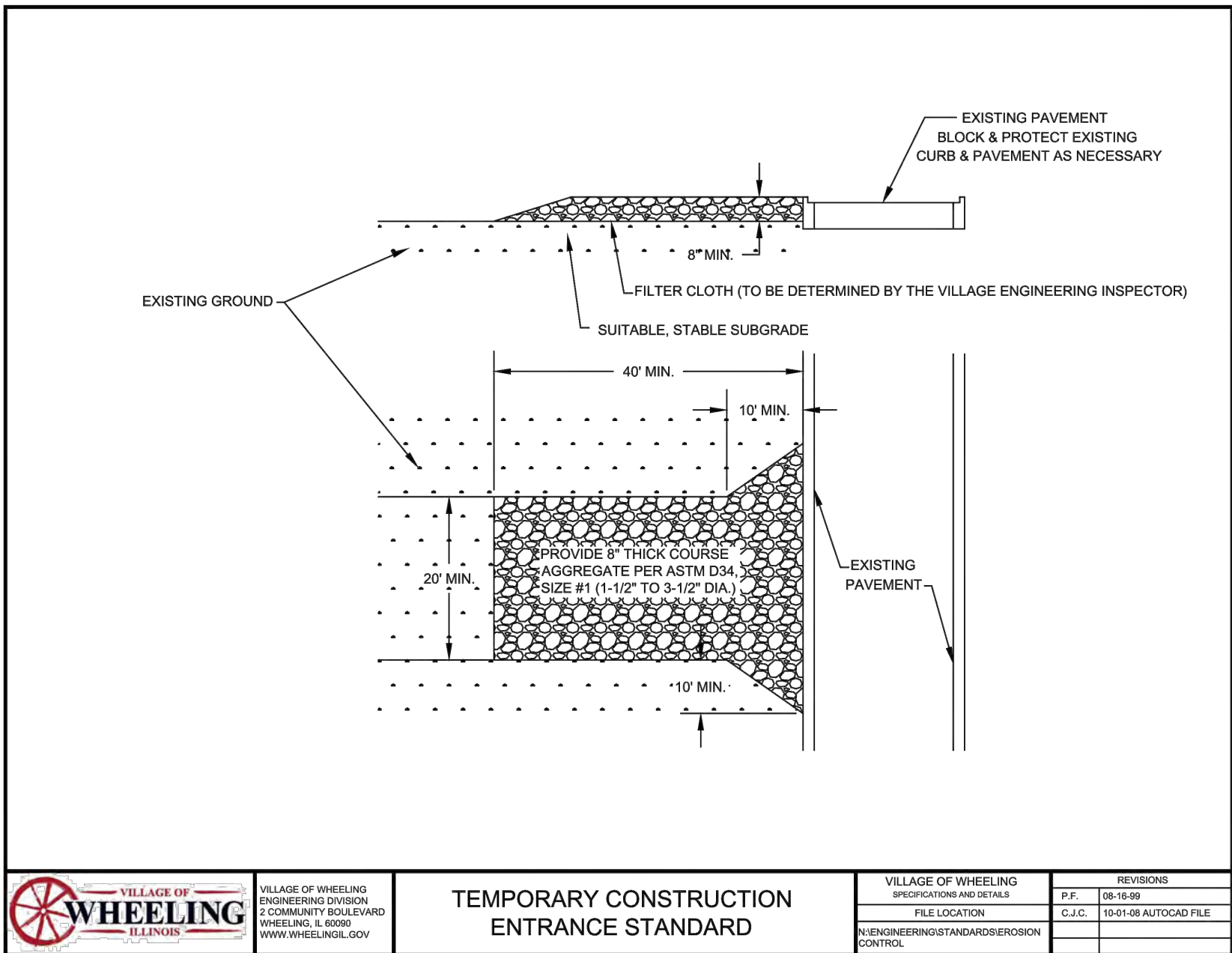
1. Subgrade shall be finished to ± 0.1 foot of design subgrade elevations by the earthwork contractor. Fine grading for pavements and curb & gutter shall be the responsibility of the paving contractor.
2. Prior to the placement of any pavement including curbs, the subgrade shall be proof-rolled with a fully loaded tandem axle dump truck (minimum 20 tons). Proof rolling shall be witnessed by the materials consultant and the Village of Wheeling Engineering Inspector. Proof rolling shall be required on the base material as well. The density of the subgrade and base material as well as the Hot-Mix Asphalt shall be tested by a materials consultant. The test results shall be provided to the engineer for his use in determining the adequacy of the pavement design.
3. Base course shall be Aggregate Base Course, Type B, conforming to the standard specifications (see plans for thickness). Material shall be crushed limestone, grade 8 or grade 9, virgin material or Village approved.
4. Hot Mix Asphalt (HMA) pavement shall be constructed using Hot-Mix Asphalt Binder Course, IL-19.0, N50 and Hot-Mix Asphalt Surface Course, Mix "C", N50 material.
5. All removal items shall be saw-cut full depth prior to the commencement of the removal process.
6. Curb and gutter, barrier curb, sidewalk, and driveways shall be a six (6) bag mix Portland Cement Concrete (PCC) with air entrainment content between 5 and 8%. Maximum allowable slump is four (4) inches. Curing compound shall be white pigmented and applied after finishing per IDOT specifications. Locations of water and sanitary sewer service lines shall be clearly marked on all new curbs.
7. Saw cut existing curb at limit of the work and replace with depressed curb as required. Drill and dowel all new curb, including depressed curb to existing as required.
8. A 3/4 inch fiber expansion joint shall be installed when the curb abuts a sidewalk, existing curb, or any other existing concrete pavement.
9. Curb and gutter and barrier curb shall have sawed contraction joints at maximum intervals of twenty (20) feet and 3/4 inch fiber expansion joint with two (2) oiled and capped one (1) inch smooth epoxy coated dowel bars at maximum intervals of one-hundred (100) feet.
10. All commercial, industrial and truck loading areas in the right-of-way shall be a minimum of eight (8) inch thick Portland Cement Concrete on a four (4) inch compacted granular base.
11. Driveway apron removal and replacement for all business, industrial and commercial areas shall include the installation of a truncated dome handicapped sidewalk ramp on both sides of the apron unless otherwise approved by the Village of Wheeling Engineering Inspector.
12. All driveway material thicknesses shall meet the minimum pavement standard requirements of the Village of Wheeling.
13. All pavement areas such as driveways shall have a two (2) inch diameter galvanized steel conduit buried beneath them at a depth of 24" (minimum) for future street light cable(s). The conduit shall extend a minimum of three (3) feet beyond the back of curb or edge of the pavement if no curb exists.
14. All dimensions for curbs are to be back of curb, unless otherwise specified.
15. The use of cold-patch for temporary pavement patching shall be approved by the Village of Wheeling Engineering Inspector prior to placement.

EARTHWORK / EROSION & SEDIMENTATION CONTROL

1. All construction activities that involves earthwork shall meet the National Pollutant Discharge Elimination System Phase II requirements:
- a) Submittal of a Notice of Intent (NOI) to Illinois Environmental Protection Agency (IEPA).
- b) Possession of a completed and signed Stormwater Pollution Prevention Plan (SWPPP) and a graphic Erosion and Sediment Control (ESC) plan.
- c) Implementation of the SWPPP.
- d) Submittal of an Incidence of Noncompliance (ION) if an event occurs.
- e) Weekly reports after 1/2" rainfall or 5" snowfall.
- f) Documentation of changes to ESC plan.
- g) Submittal of a Notice of Termination (NOT) when final stabilization is achieved.
2. The Contractor shall install all erosion control items prior to commencement of any work.
3. Any wetland mitigation shall begin prior to any grading work and shall be in accordance with the approved mitigation permit plan and requirements.
4. In order to protect and ensure against flooding, all top of foundations shall be set a minimum of one (1) foot above the high water level of adjacent stormwater management facilities such as retention/detention ponds.
5. The Contractor shall maintain existing positive drainage from off-site at all times during construction.
6. Within the limits of proposed grading the soil shall be compacted to not less than the following percentages of modified proctor dry density in accordance with ASTM D 1557- 78:
- a) Under structures, Building slabs, steps and pavements, Compact six (6) inch maximum lifts of sub-grade. Backfill or fill material at 95% modified proctor dry density.
- b) Under walkways. Compact six (6) inch maximum lifts of dry sub-grade, backfill, or fill material at 95% modified proctor dry density
- c) Under lawn or unpaved areas. Compact six (6) inch maximum lifts of sub-grade, backfill, or fill material at 85% modified proctor dry density.
7. All erosion control work shall comply with "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control."
8. Stripping of vegetation, grading or other soil disturbance, especially in designated wetland areas, shall be done in a manner which will minimize soil erosion, and shall be in accordance with the approved drawings, mitigation and permit requirements.
9. The contractor shall take precautionary measures to minimize earthwork in areas where trees are to be saved as shown on the plans or determined in the field.
- 10) The extent of the area which is exposed and free of vegetation and the duration of its exposure shall be kept within practical limits as directed by the Village of Wheeling.
- 11) Sedimentation shall be retained on site. Straw bales and sediment fence shall be installed along the perimeter of all re-graded areas or as required to prevent sediment from entering and/or leaving the site.
- 12) Straw bales for construction of erosion control devices shall be new, firm and wire or nylon bound livestock feed grade. Each bale shall be embedded in the soil a minimum of four inches. Bales shall be securely anchored in place by stakes or rebars driven through the bales.
- 13) Dust produced from the site shall be kept to a minimum during dry periods by spraying water as required to the Village of Wheeling Engineering Inspector's satisfaction and is to be considered incidental.
- 14) All mud shall be removed from all tires before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- 15) Culverts and drainage ditches shall be kept clean and clear of obstructions during the construction period.
- 16) Straw bales and silt fences shall be inspected frequently and maintained or replaced as required to maintain both their effectiveness and integrity. The underside of bales shall be kept in close contact with the earth below at all times to prevent water from washing beneath them.
- 17) Water courses and drainage swales adjacent to construction activities shall be monitored as necessary, for evidence of silt intrusion and other adverse environmental impacts. Any problems or deficiencies shall be corrected immediately upon their discovery.
- 18) Sod all unpaved areas of parkways, right-of-ways and front yards to rear wall of the building. Seeding may be used in other areas, particularly back yards, only with prior approval from the Village of Wheeling.
- 19) The Contractor shall install temporary orange fence around all trees to remain as well as wetland areas that are to be mitigated.

RECORD DRAWING (AS-BUILTS) PLAN REQUIREMENTS

- I. Quantity and Format of Drawings Required
1. Upon the Village Engineer's approval of a paper (blueline or blackline) Record Drawing Check Print, Record Drawings of the completed project shall be provided as follows:
- A. Subdivisions and Roadway or Utility Improvements That Will Become Public
- a. One Electronic Drawing File(s) in DWG (AutoCAD) or DXF Format.
- b. One Electronic ASCII Point File(s).
- i. The ASCII Point File should be as a point number followed by the point's raw data: Northing, Easting, Elevation, and Point name (Raw Point Description) Code format - comma delimited, on CD. Example:
- | Point Number | Northing | Easting | Elevation | Description |
|----------------|--------------|----------|-----------|-------------|
| 1,1993774.448, | 1093275.480, | 649.193, | CP | |
- ii. Data shall be in US State Plane Coordinates System, Illinois East zone, NAD-83, NAVD-88, US Survey Feet, as opposed to an arbitrary coordinate system.
- c. One complete set of reproducible mylar drawings.
- d. Three (3) complete sets of paper (blueline or blackline) drawings
- B. Industrial and Commercial Sites or Private Improvements
- a. One Electronic Drawing File(s) in DWG (AutoCAD) or DXF Format.
- b. One Electronic ASCII Point File(s).
- i. The ASCII Point File should be as a point number followed by the point's raw data: Northing, Easting, Elevation, and Point name (Raw Point Description) Code format - comma delimited, on CD. Example:
- | Point Number | Northing | Easting | Elevation | Description |
|----------------|--------------|----------|-----------|-------------|
| 1,1993774.448, | 1093275.480, | 649.193, | CP | |
- ii. Data shall be in US State Plane Coordinates System, Illinois East zone, NAD-83, NAVD-88, US Survey Feet, as opposed to an arbitrary coordinate system.
- c. Three (3) complete sets of paper (blueline or blackline) drawings.
- II. Record Drawing Suggested Minimum Content Checklist
1. ☐ All B-box locations must be shown with tied dimensions to be readily located in the field.
2. ☐ All Sanitary sewer services complete with cleanouts must be shown with tied dimensions.
3. ☐ Storm sewer sump pump discharge locations must be shown with tied dimensions to building. Also, the pipe routing as well as type, slope and size must be shown.
4. ☐ As-built spot elevations at key locations such as top of curb, summits, swales and ditches, and storm water management areas.
5. ☐ As-built rim and invert elevations on all structures.
6. ☐ As-built pipe size, lengths and slopes on all sanitary & storm sewers.
7. ☐ As-built finished floor or top of foundation elevations and grade adjacent to building.
8. ☐ Dimension on all utilities from property line or back of curb, including street light cables.
9. ☐ Verification of storm water management volumes which shall include a summary of all the plans.
- A. Detention provided _____ac-ft
- B. Detention required _____ac-ft
10. ☐ Wetland areas shall be delineated as well as compensatory flood storage areas if applicable.
11. ☐ List of all permit numbers as issued on cover sheet.
12. ☐ In the case of multi-sheet utility plan sets, which may also require match lines, an overall master utility sheet shall be provided in the "As-Built" drawing set clearly showing all utility locations, type and size.
13. ☐ Any additional information which the Village Engineer determines to be pertinent to the project record drawings.
14. ☐ All property corners (monuments, iron pipes, iron rods, etc.) including PC's, PT's and at points where curves change their radii, as required to be set by Illinois State Statutes shall be in place according to the Plat. All property corners must be in place prior to the issuance of any type of Certificate of Occupancy.



TREE PROTECTION DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

COPYRIGHT NOTICE
This drawing is the property of Gewalt-Hamilton Assoc., Inc. and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from Gewalt-Hamilton Associates, Inc.

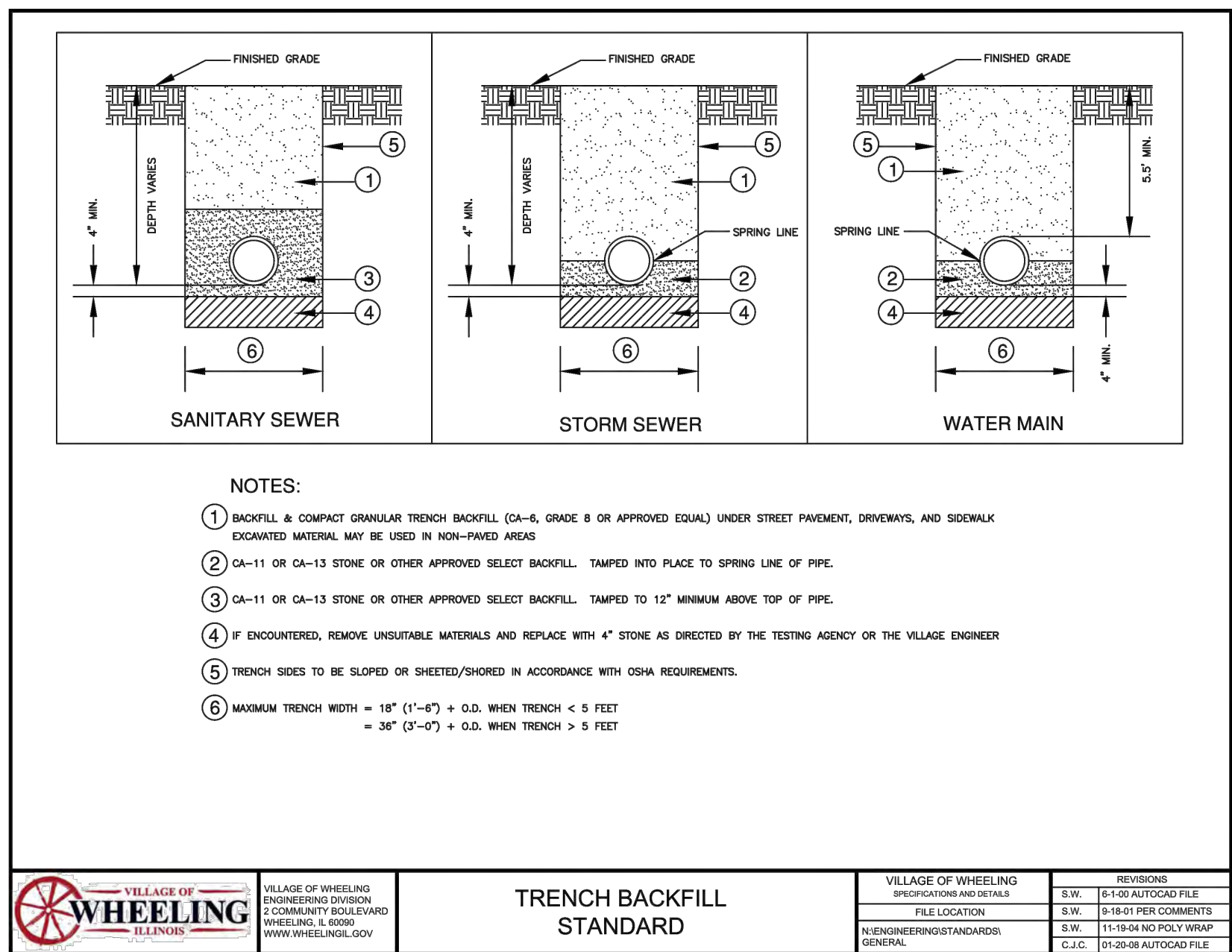
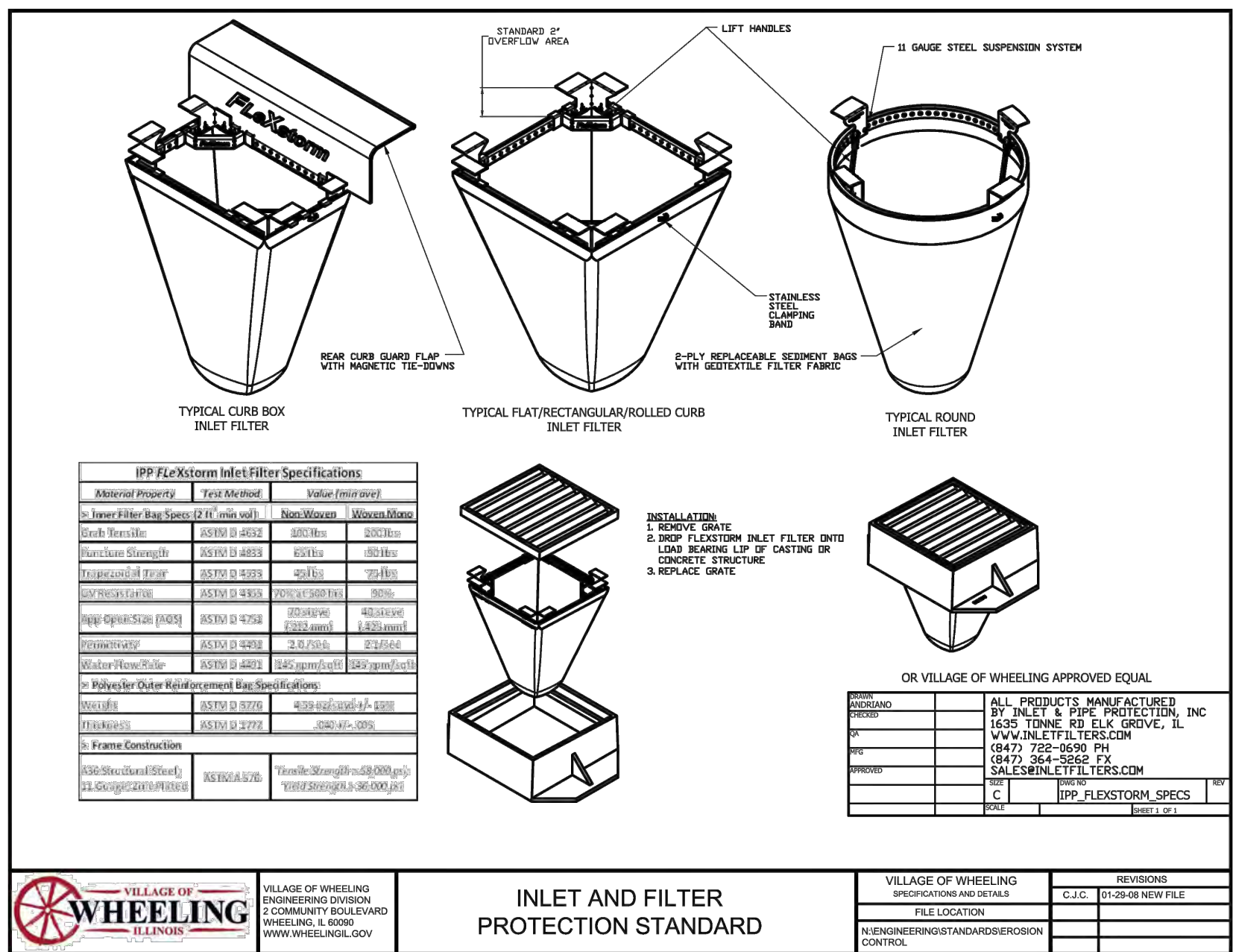
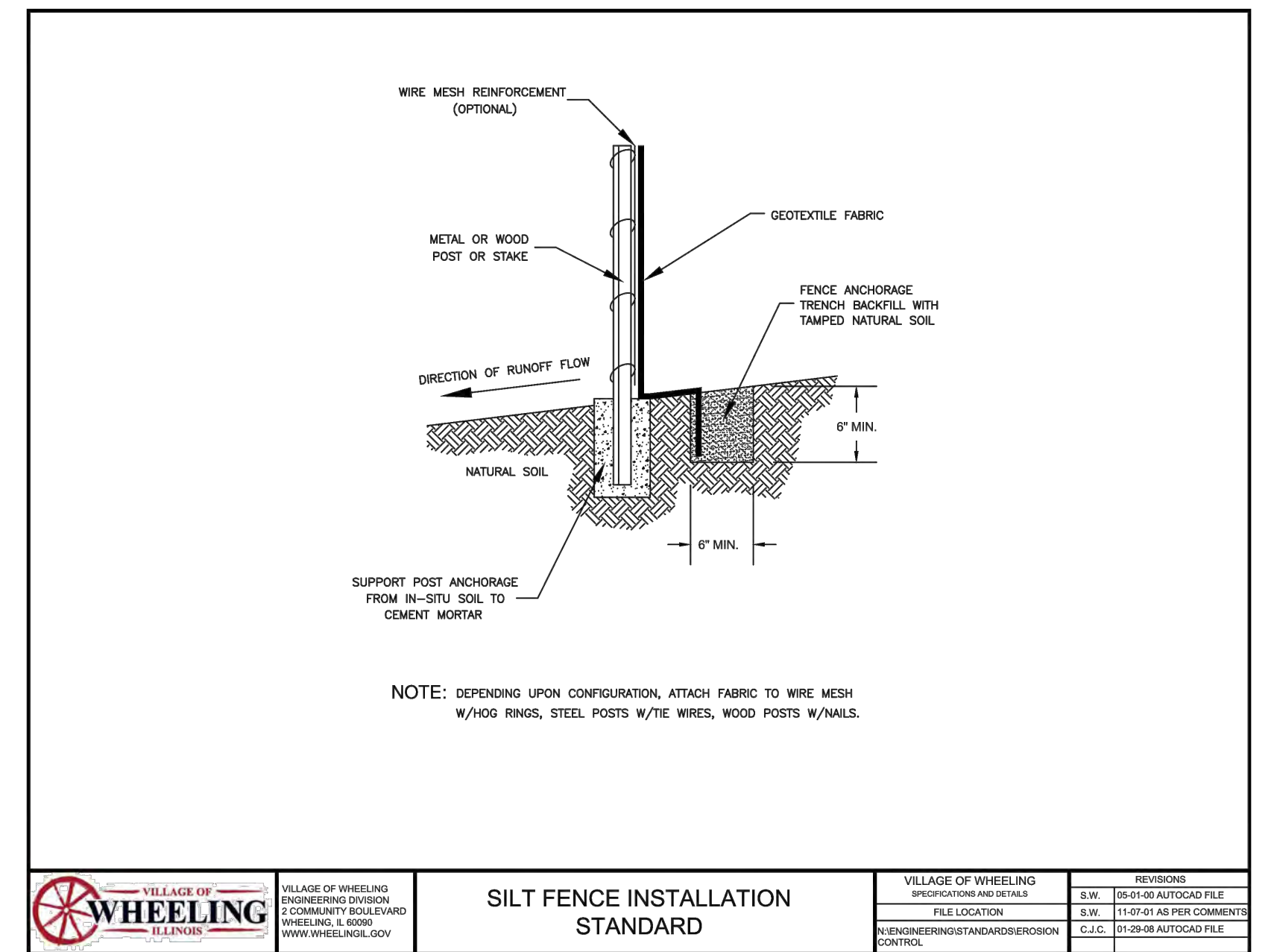
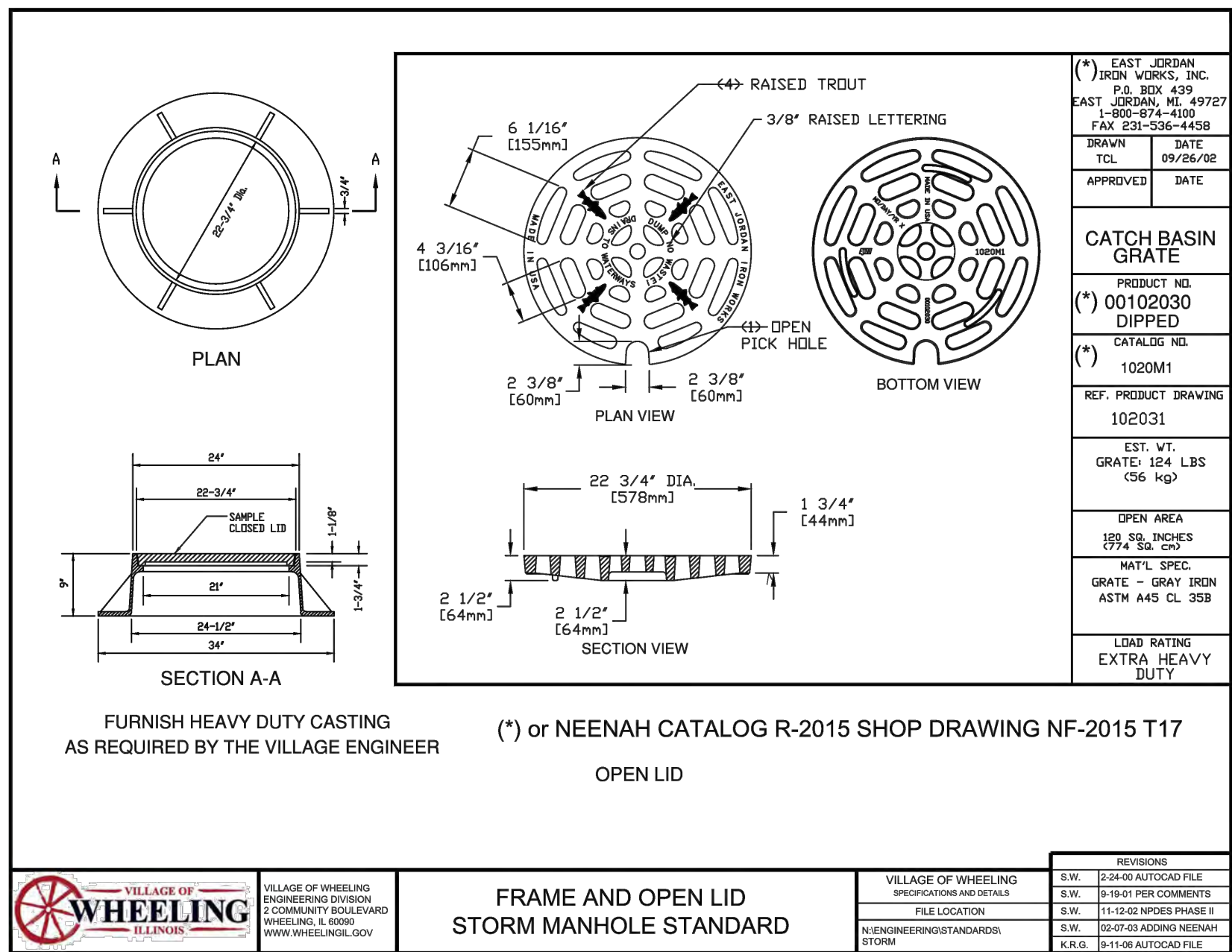
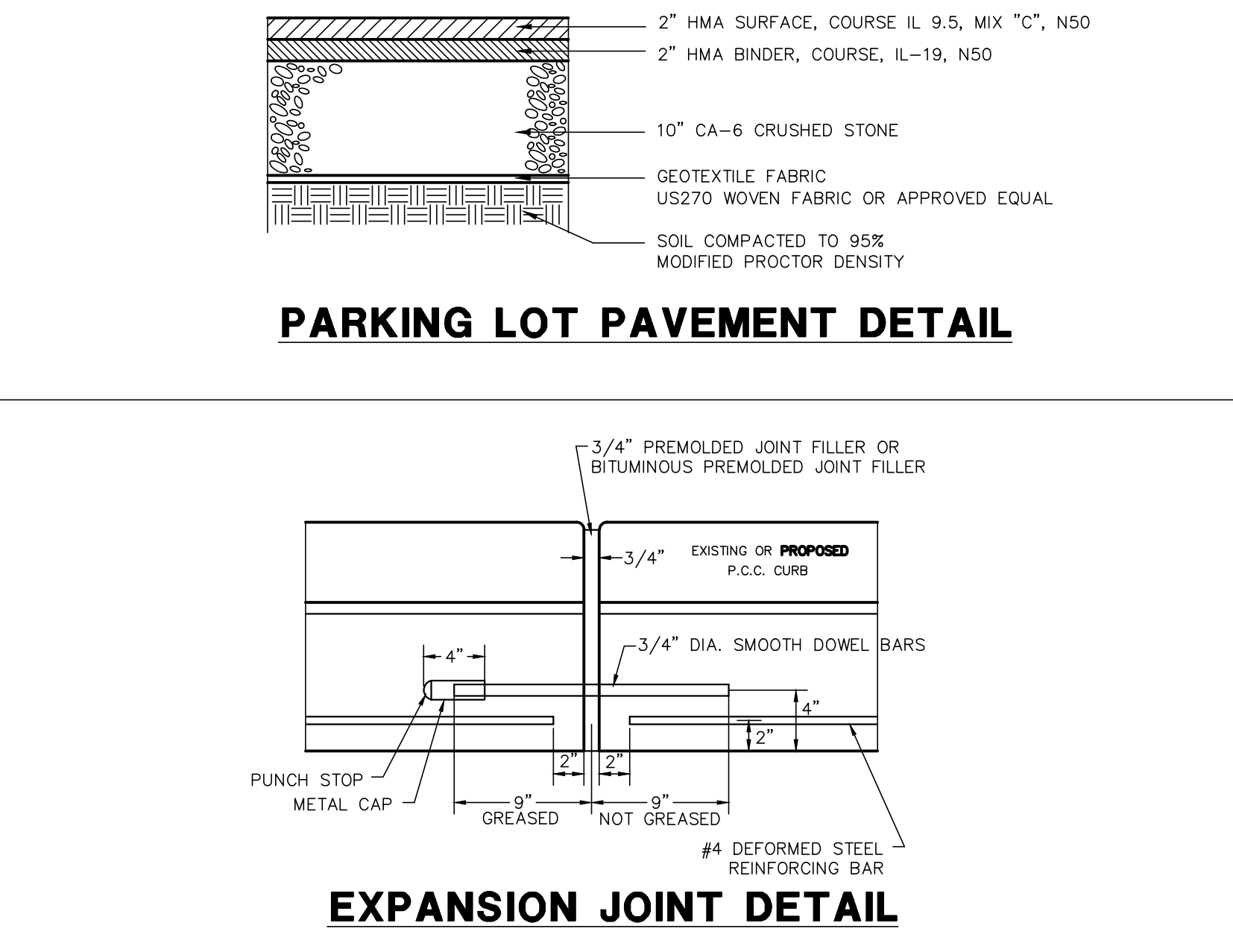
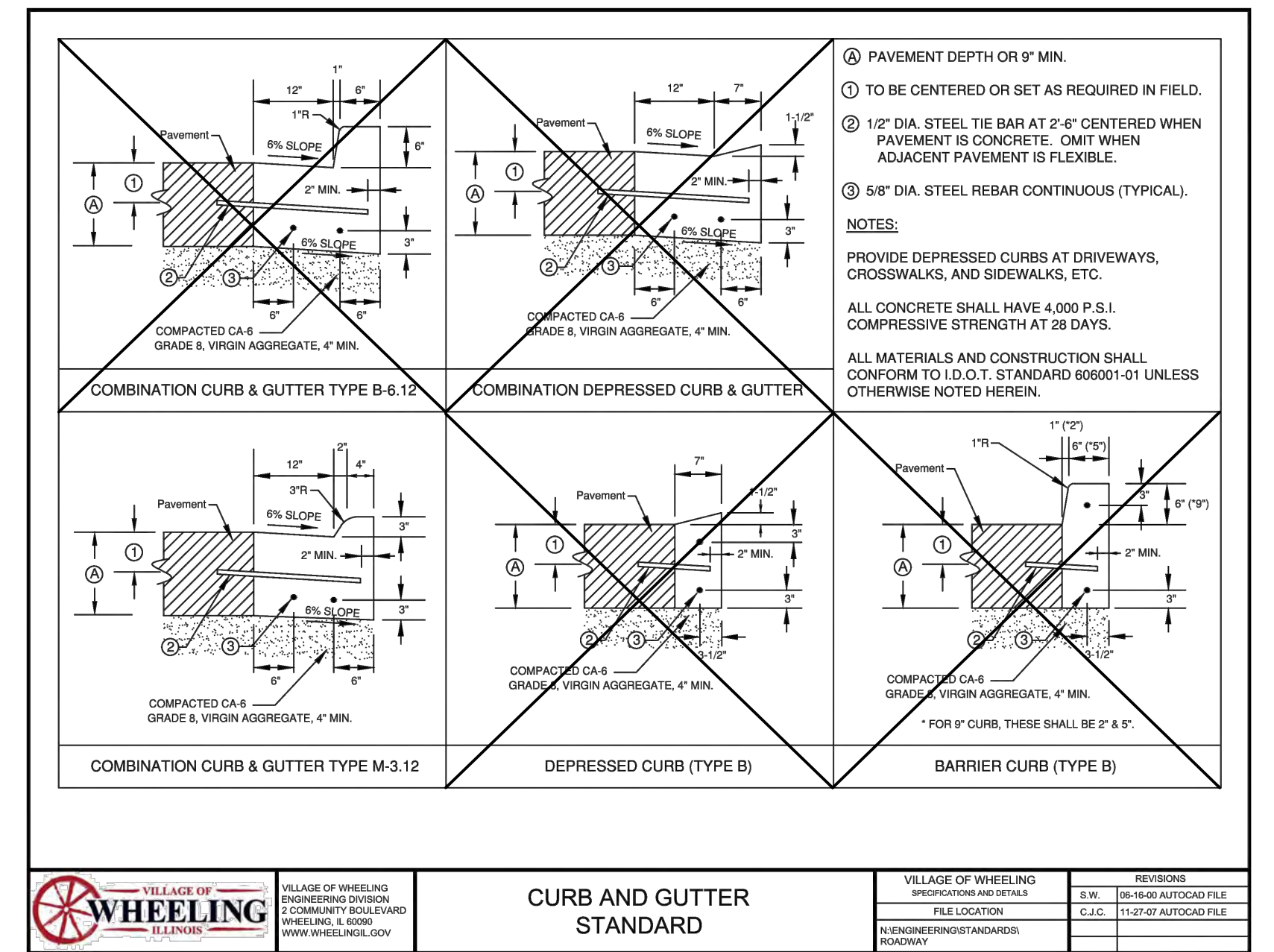
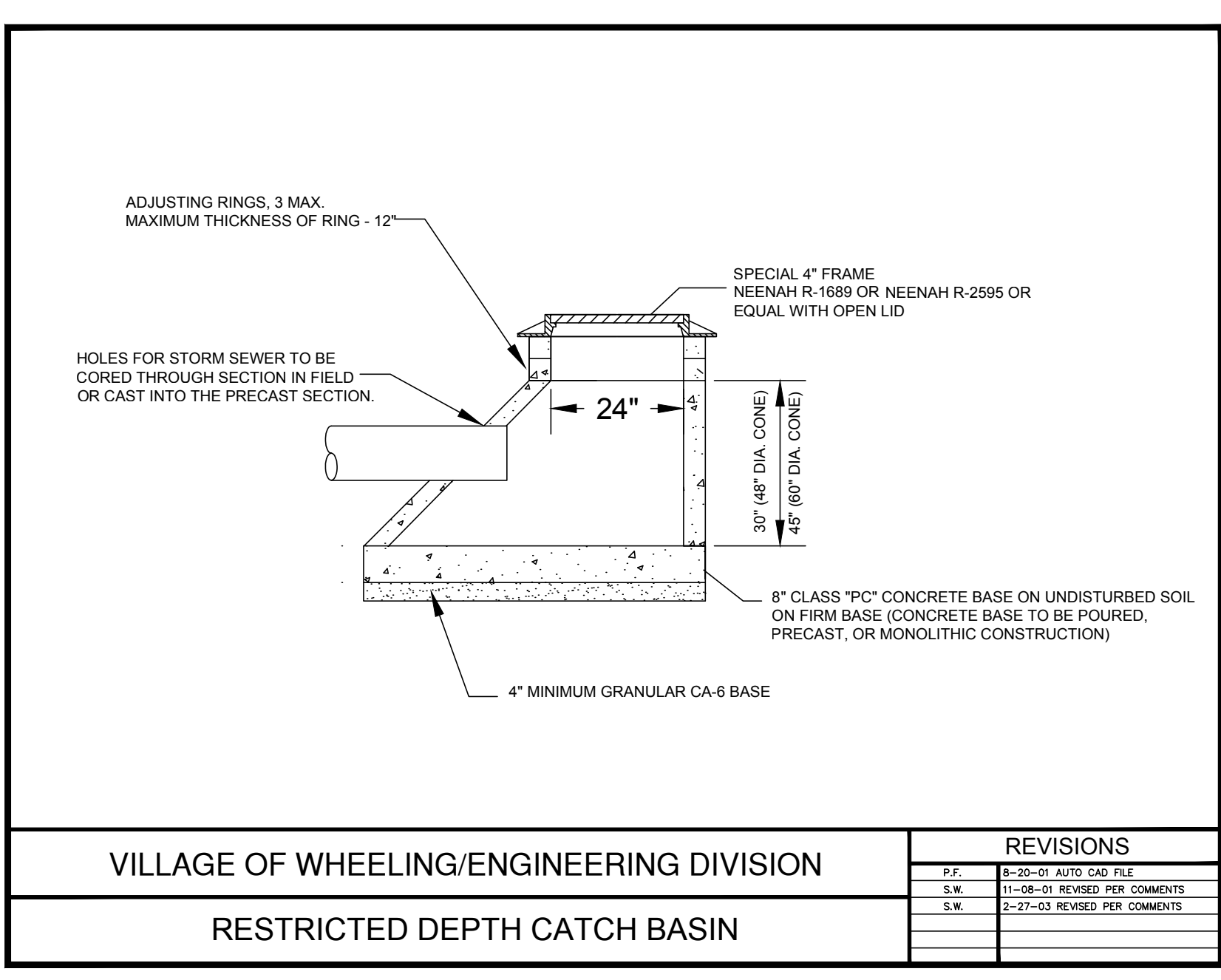
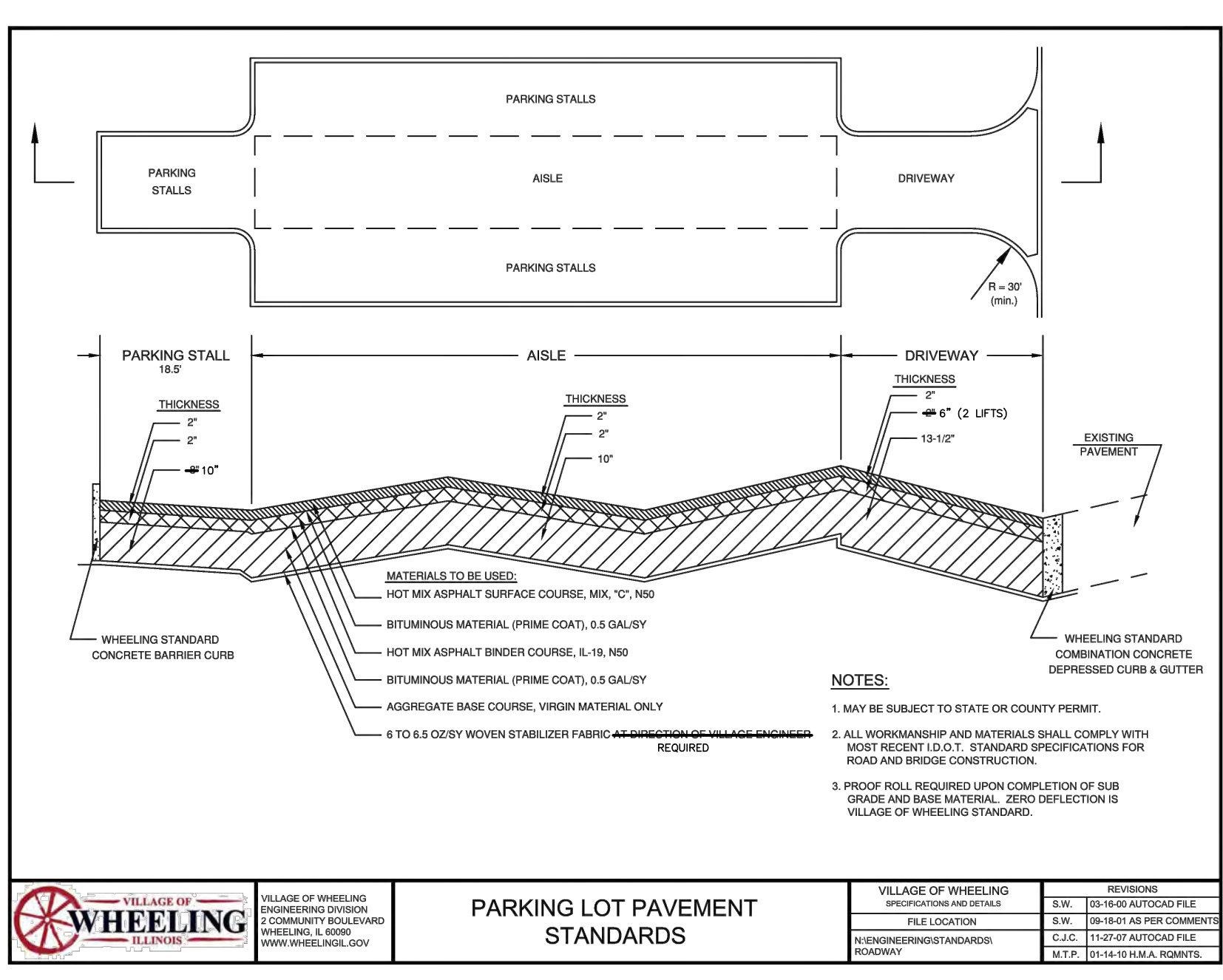
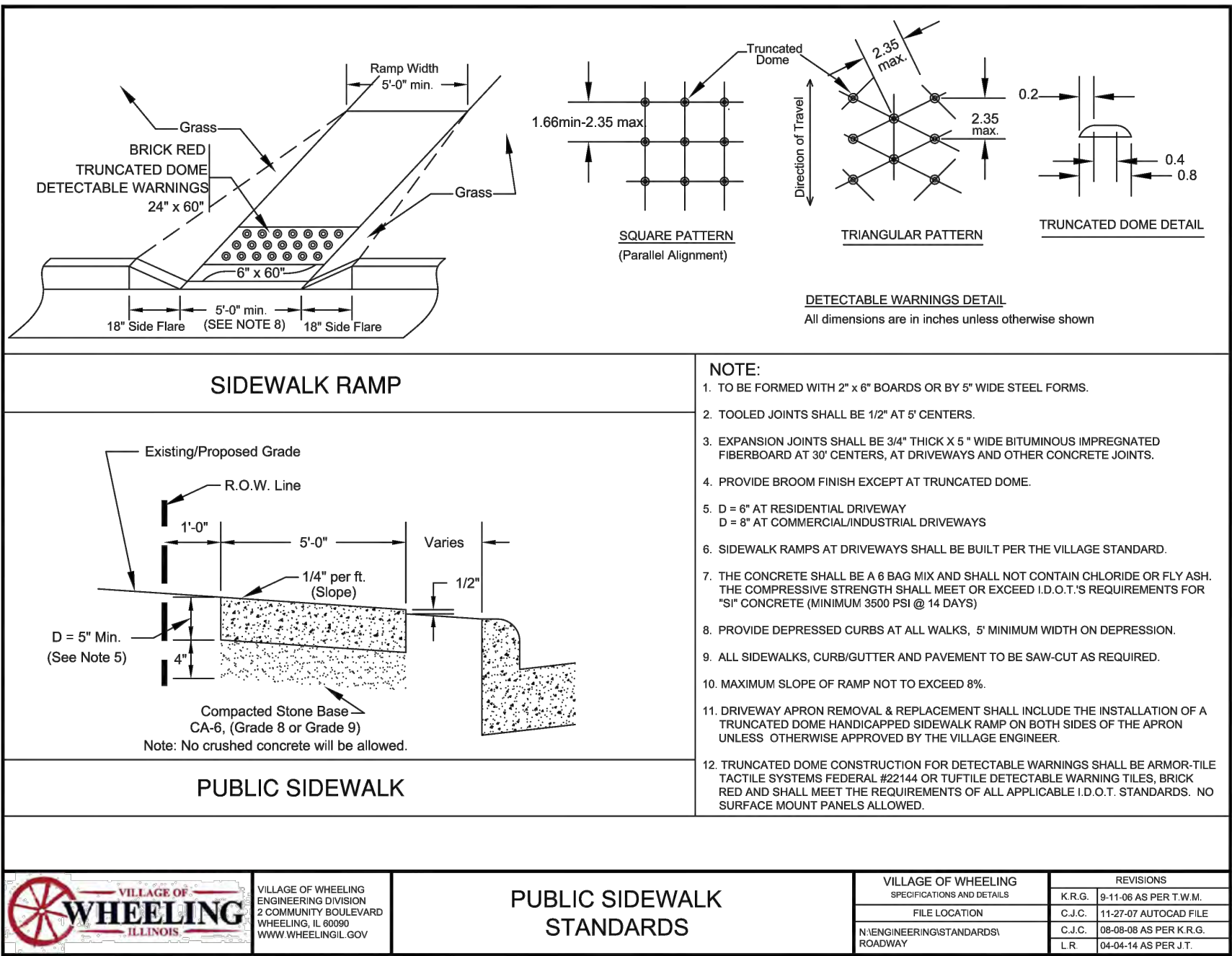
GENERAL NOTES

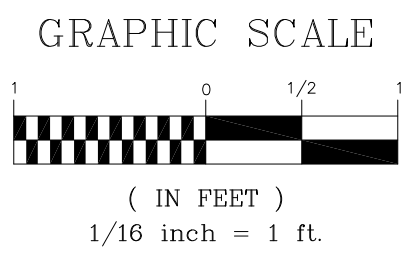
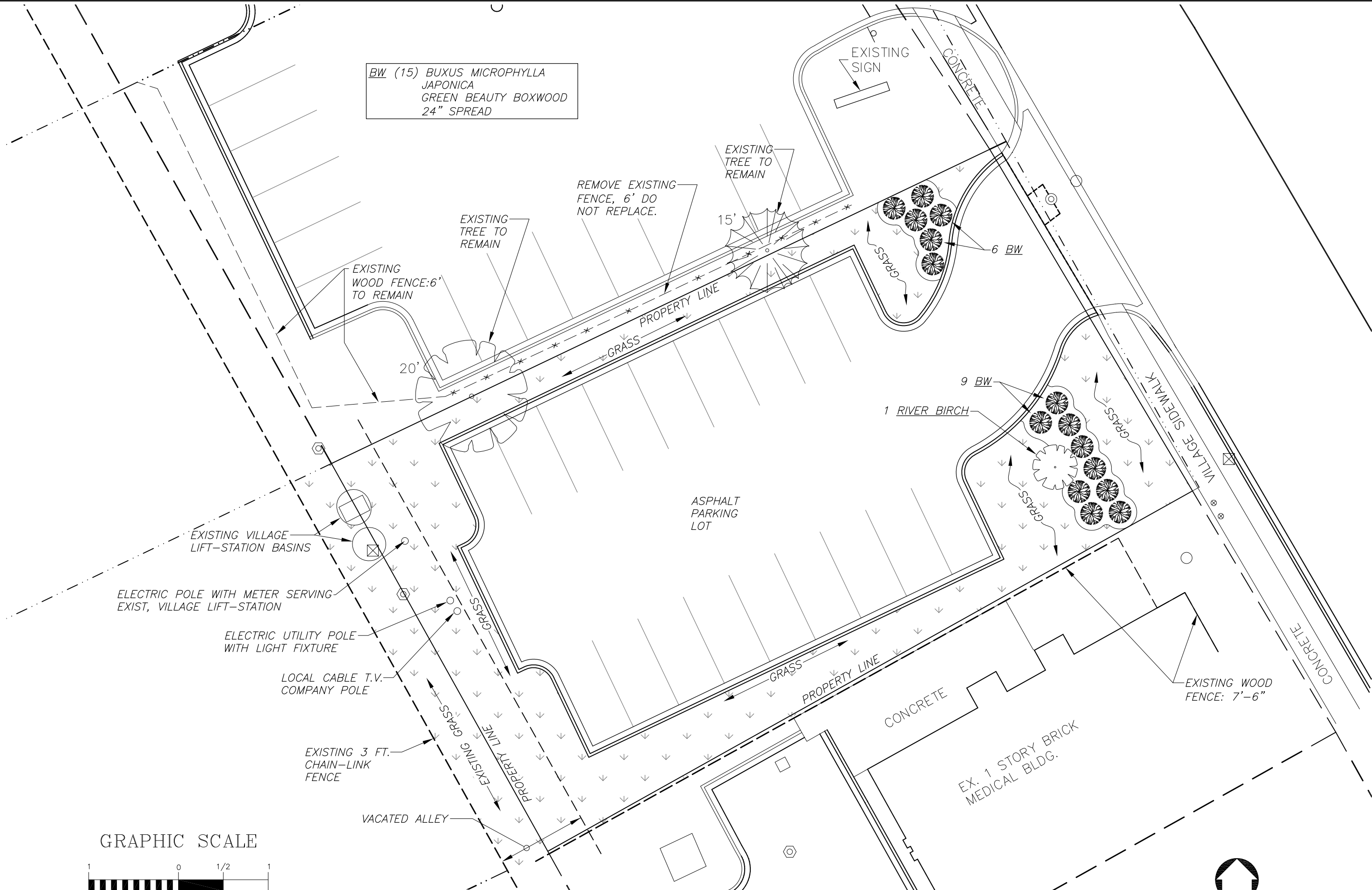
**PARKING LOT
300 S. MILWAUKEE AVENUE
VILLAGE OF WHEELING, ILLINOIS**

| NO. | BY | DATE | REVISION |
|-----|----|------|----------|
| | | | |
| | | | |
| | | | |
| | | | |

Exhibit received November 2, 2016

| | |
|---------------------------------|---------------------------|
| FILE: 5118 PRI.dwg | SHEET NUMBER: |
| DRAWN BY: CSB DATE: 03-18-16 | GHA PROJECT # 5118.300 |
| CHECKED BY: DATE: | SCALE: N/A |
| OF 4 SHEETS | 3 |





300 SOUTH MILWAUKEE AVENUE — LANDSCAPING PLAN

SCALE: 1/16" = 1'-0"



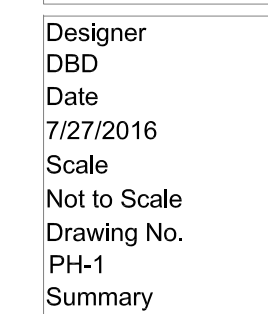
Exhibit received November 2, 2016

| REVISIONS | NO |
|-----------|----|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PARKSIDE OFF-SITE PARKING
300 SOUTH MILWAUKEE AVENUE
WHEELING, ILLINOIS

CONSOLIDATED CONSULTING ENGINEERS
 212 S. MILWAUKEE AVENUE WHEELING, ILLINOIS 60090
 TEL: 847.215-0800 FAX: 847.215-0820

Date
Scale 1/16"=1'-0"
Drawn VC
Job
Sheet
L-1
 10/1 Sheets



| Luminaire Locations | | | | | | | | | | |
|---------------------|-------|------------|------------|-------|-------|-------------|------|------------|------------|------|
| | | Location | | | | | | Aim | | |
| Lo. | Label | X | Y | Z | MH | Orientation | Tilt | X | Y | Z |
| 1 | A | 1100646.00 | 1992167.00 | 25.00 | 25.00 | 332.10 | 0.00 | 1100646.00 | 1992168.00 | 0.00 |
| 2 | A | 1100618.00 | 1992226.00 | 25.00 | 25.00 | 154.32 | 0.00 | 1100619.00 | 1992225.00 | 0.00 |

D2MD-LE
 Rev 02/24/1
 Page 1 of



10,000 AIC RATED

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

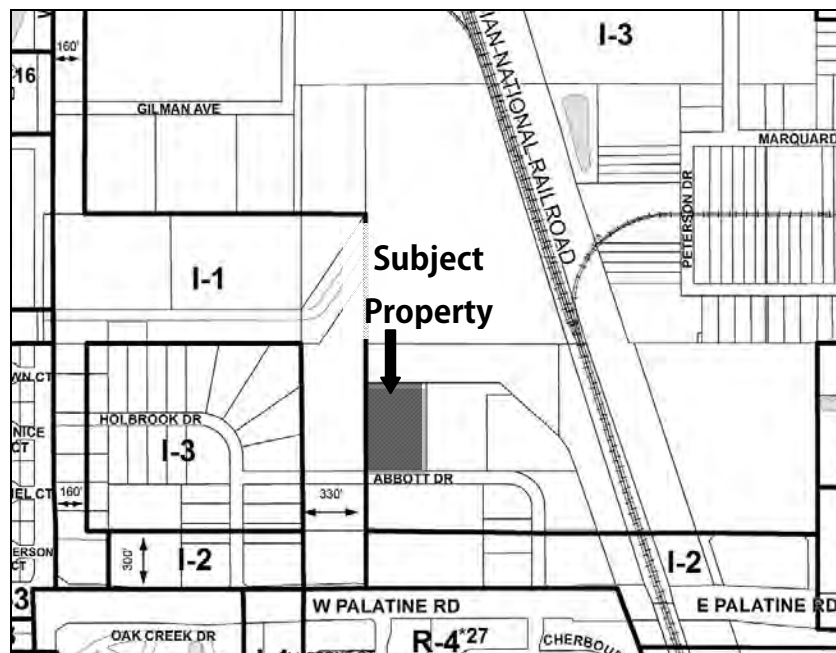
RE: **Docket No. 2016-21A & C**
JV Global Services LLC
150 Abbott Drive
(2016-21A) Special Use-Site Plan Approval to Establish a
Truck Freight Terminal
(2016-21C) Special Use-Site Plan Approval to Establish
Heavy Motor Vehicle Outdoor Storage

DATE OF REPORT: November 23, 2016

DATE OF MEETING: December 1, 2016

PROJECT OVERVIEW: The petitioner is seeking two zoning actions at 150 Abbott Drive, which is vacant parking lot that is zoned I-3 General Industrial District. The petitioner is requesting two special uses to operate a truck parking facility. The proposed special uses are Truck Freight Terminal and Heavy Motor Vehicle Outdoor Storage. On October 27th, the Plan Commission continued the hearing to November 17th. On November 17th the hearing was continued to December 1st without discussion.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Applicant Name: Patrick Kilmer-Lipinski, Attorney
Property Owner: Abbott Drive LLC
Common Property Address: 150 Abbott Drive
Common Location: Located on the north side of Abbott Drive, east of Holbrook Drive.
Neighboring Property Land Use(s): North: Industrial
South: Industrial
West: Industrial
East: Industrial
Comprehensive Plan Designation: Industrial
Property size: 3.2 acres (total lot)
400 sq. ft. (building area)
Existing Use of Property: Vacant parking lot
Proposed Use of Property: Truck freight terminal / Heavy motor vehicle outdoor storage
Existing Property Zoning: I-3 General Industrial District
Previous Zoning Action on Property: None.

UPDATE FROM OCTOBER 27TH PLAN COMMISSION HEARING

On October 27, 2016 Plan Commission opened the public hearing for review of the truck terminal and heavy motor vehicle outdoor storage special uses at 150 Abbott Drive. At the hearing, the Plan Commission had the following comments (**petitioner responses provided in bold**):

1. That tenants (drivers) are not allowed to stay overnight on the premises;
JerVal LLC agrees to the condition that tenants (drivers) will not be allowed to stay overnight on the premises.
2. That the lot shall be resurfaced and its aprons re-poured;
JerVal LLC's parking lot consultant Austin Maneval of Maneval Construction discussed the repair of the parking lot with Kyle Goetzelmann, the Village of Wheeling's Civil Engineer. Based on this discussion, Mr. Maneval has proposed the enclosed plan to repair the property's parking lot.
3. Outdoor material storage is not permitted;
JerVal LLC agrees to the condition that outdoor material storage is not permitted at the subject property.

4. Daily or hourly parking is not permitted;

JerVal LLC agrees to the condition that daily or hourly parking terms will not be permitted at the subject property.

5. The onsite management office shall maintain a manifest of the tenants, which shall be available to the Village upon requests;

JerVal LLC agrees to the condition that onsite management office shall maintain a manifest of the tenants, which shall be available to the Village upon requests.

6. The location and design of the trash enclosure shall be shown on a plan. (Wood fence enclosure with wood-wrapped steel posts.);

JerVal LLC has updated the site plan to show the location of the trash enclosure. The trash enclosure can be found on the site plan on the southwest section of the property, near the proposed building. The design of the trash enclosure can be found in the attached drawing.

7. No truck repair or maintenance allowed on the site;

JerVal LLC agrees to the condition that no truck repair or maintenance will be allowed on the site.

8. Building material samples shall be provided;

JerVal LLC has hired a contractor who will bring material samples of the building to the Plan Commission meeting.

9. The fence shall have wood-wrapped steel posts; Provide a material sample to demonstrate durability;

The fence surrounding the property shall have wood-wrapped steel posts. JerVal LLC has hired a contractor who will bring material samples of the wooden fence to demonstrate the fences' durability.

10. Details for the security gates shall be provided;

There will be two gates at the subject property. These two gates will be on the southern side of the subject property, both accessing Abbott Drive.

The gate itself will consist of a metal fence that will slide open on a track when the gate is opened. The gates can be opened two ways: by a remote located in the proposed office building on the property and by a PIN box located two feet from the curb. The operations teams will have access to the PIN box and the remote in the office. The drivers will only have access to the PIN box. The gates will be open during operations hours and closed during off hours.

The gate will close 2.5 minutes after it is opened; however, there will be motion sensors to ensure that the gate does not close on a vehicle still entering or leaving the premises. The motion sensors will automatically open the gate when a vehicle is leaving the site.

Enclosed, please find pictures of a similar gate reflecting what the subject property's gates will likely resemble.

11. The employee (including ADA) parking shall be shown on the plan.

JerVal LLC has updated the site plan to show the location of the employee parking stalls including the ADA parking stall. These stalls can be found on the site plan on the southwest section of the property, near the proposed building.

12. Consider additional color and perennial plants for the planting area.

JerVal LLC has agreed to install additional landscaping on the site along Abbott Drive to beautify the property. Enclosed, please find the revised landscaping plan.

DESCRIPTION OF PROPOSAL

The petitioner is requesting two separate special uses for the functionality of its proposed truck parking facility. The following special uses are requested:

1. Truck Freight Terminal, and
2. Heavy Motor Vehicle Outdoor Storage.

A truck freight terminal use allows for a truck-based freight service facility including operations (office use), loading/unloading, sorting, and delivery. The heavy motor vehicle outdoor storage use allows for the outdoor parking of trucks and contractor's vehicles for more than 48 hours.

The petitioner indicates the use will include parking for 78 trucks/semi-trailers. Each 70-foot stall will be available to rent individually. The lease term will be no more than 90 days. Leases can be renewed. The petitioner estimates trucks will not be parked for more than 30 continuous days and that 7 to 13 trucks will visit the site daily. Overnight parking is for truck/equipment storage only. Drivers are not allowed to stay on-site overnight. A new small office building will also be constructed onsite to accommodate employees and drivers.

The petitioner indicates the majority of trucks will be of the business owners' trucking clients. However, petitioner expects there also to be business from independent truck drivers or overflow trucks from neighboring properties.

The business will operate with three on-site employees during regular business hours. The hours of operation are the following:

- Weekdays: 8 am to 6 pm,
- Saturdays: 7 am to 12 am, and
- Sundays: 8 am to 5 pm.

Drivers can also access the site during non-business hours with advance notice and a passcode provided by JV Global Services.

The property will include 13 security cameras and a new lighting plan is proposed. A 6-foot wooden fence will enclose the property on all sides. A landscape plan that includes maintenance to the existing vegetation and new plant material is proposed.

An estimated timeline for site improvements and phased paving plan has been provided. Staff believes this timeline is acceptable provided there is a firm project completion date of September 30, 2019. A condition of approval has been added to the motions to reflect this date.

SITE PLAN REVIEW

Scale of Site Plan: 1" = 20'

Proposed General Site Layout: The site is accessed via two existing driveways off of Abbott Drive. Parking is arranged in three single-loading aisles. The new office building is located at the front of the site, near the west driveway.

Proposed Floor Plan: A 400 sq. ft. building is proposed that will primarily serve as an office. Restrooms are also provided.

Total Number of Parking Spaces: 78 truck parking spaces are provided to accommodate the proposed uses. A total of five employee vehicle parking spaces (including one accessible space) are located near the office building.

Ownership: There is a contract to purchase the property by a JerVal LLC. The facility will be operated by the same entities as the contract owner, but under a different name, JV Global Services LLC.

Site Lighting: A photometric plan has been provided.

Sidewalks: There is no existing or proposed sidewalk. Only limited portions of Abbott Drive have a public walk.

Bicycle parking: No bicycle parking has been provided. At the October 27th hearing, the PC discussed that it would not be required.

APPEARANCE REVIEW

Building Size: The proposed office building is 400 sq. ft. in floor area. The building height is 13 feet to the mean of the roofline and 17 feet to the top of the roofline.

Elevation Plan Review: A small one-story building is proposed as the office for the business operations. The first floor is clad in brick veneer with "hardplank siding" above. The shed-style roof appears somewhat unusual. Architectural asphalt roof shingles are proposed. Glass entry doors are proposed for the front and rear of the building. The proposed windows appear fixed or possibly as casements.

Material Samples: The petitioner has been asked to provide samples at the meeting.

Trash enclosure: Based upon the October 27th hearing, the plans now include a trash enclosure. The enclosure is located next to the employee parking. It will be a masonry enclosure with brick walls to match the building. The gates are solid aluminum panels.

Fencing: 6-foot tall wood fence is proposed to surround the lot. Double gates are proposed at each access drive. Photographs of the gates have been provided. The petitioner's response indicates the fence will include wood-wrapped steel posts.

Existing Landscaping to Remain: The landscape plan has identified the existing tree species. The volunteer mulberry and buckthorn trees and dead shrubs will be removed. All other existing vegetation, which is limited to the front of the property, will remain. A landscape maintenance contract has been provided that indicates weeding/trimming/edging and pruning of trees.

Proposed Landscaping: At the suggestion of the Plan Commission at the October 27th hearing, there is now a plan for additional plantings. Interspersed along the front landscaped area will be hydrangea, Knock Out Roses, low growing perennials, and ground cover.

STANDARDS FOR SPECIAL USE

Following are standards for special use with the petitioner's responses. **(Staff comments are in bold.)**

1. State why the Special Use is necessary for the public convenience at the proposed location. (Explain how the proposed use will benefit residents, the neighborhood or the community-at-large.)

"The Applicant believes its use of the Subject Property will benefit the surrounding community and the Village of Wheeling. First, the Applicant's occupancy of the Subject Property will ensure that the Subject Property remains in a state of good repair. Second, the Village of Wheeling can expect the Applicant, its employees and its clients to invest commercially back into the community by visiting local establishments such as restaurants, gas stations, hotels and more. Third, the Applicant plans to increase the market value of the Subject Property by constructing a brand new approximately 400 square foot building on the site. Finally, neighboring industrial users can use the Applicant's truck and semi-trailer parking services at the site to alleviate overflow issues."

Based upon the steady interest among prospective truck parking business owners who approach staff with similar concepts on industrial properties throughout the Village, there appears to be a market for this use.

2. State how the special use will not alter the essential character of the area in which it is to be located. (Explain how the proposed special use is appropriate for the neighborhood or shopping center and how the overall character will not be affected by the special use.)

"The Subject Property is currently a paved parking lot. Across the street from the Subject Property is the building located at 120 West Palatine Road ("120 W. Palatine Building").

The 120 W. Palatine Building has been almost 100% vacant since January 2012; however, before this vacancy, the Subject Property served as overflow parking for the 120 W. Palatine Building. This overflow parking consisted mostly of trucks and semi-trailers used for operations at the 120 W. Palatine Building. These trucks and semi-trailers are similar to the trucks and semi-trailers that Applicant plans to park at the Subject Property. Accordingly, the Applicant's proposed use of the site (truck and semi-trailer parking) is similar to the previous use of the Subject Property.

Additionally, the Applicant's proposed use of the Subject Property will be consisted with the use of the surrounding properties. The Subject Property is located within an industrial park. To the north, east, south and west of the Subject Property are properties used for industrial businesses. The closest residential buildings are located to the south of Palatine Road. Based on a review of the surrounding properties, trucks and semi-trailers are a very common sight in the area."

The subject property is zoned I-3 General Industrial District and is surrounded by industrial uses. Accessory truck parking is found on nearly every adjacent lot. The subject property was previously used as off-site truck parking for 120 W. Palatine Road.

3. State how the location and size of the Special Use, the nature and intensity of the operation involved in or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, will be in harmony with and will not impede the normal, appropriate, and orderly development of the district in which it is to be located and the development of surrounding properties. (Explain how the proposed use will allow the surrounding area to develop appropriately. Is the use too large for the site? Will it be in a location on the lot that will cause conflicts with adjacent properties? Does the use create noise, odor, smoke, or light that will affect other properties?)

"Based on several reasons, the Applicant believes its use of the Subject Property will not only allow but assist with the development of the surrounding area.

First, the Applicant expects its use of the Subject Property will not hinder development of the surrounding area. As stated above, the surrounding properties are used for industrial purposes. Accordingly, the trucks and semi-trailers that will be parked at the Subject Property will be very similar to the truck and semi-trailers used by the surrounding businesses. Additionally, the previous use of the Subject Property was trailer parking. Accordingly, the Applicant is simply continuing the previous use of the site.

Second, the Applicant plans to customize its operations to fit the Subject Property. Based on the Applicant's review of the Subject Property, it has calculated that the Subject Property will allow for 78 trucks/semi-trailers to be parked at the Subject Property. Accordingly, the Applicant will allow for 78 trucks/semi-trailers to be parked at the Subject Property.

Additionally, there will be no need for on-street parking as all of the parking will occur on the Subject Property. There are sufficient parking stall for the Applicant's employees. A driver who drives to the Subject Property in his or her personal car will park such car in the same stall as he or she is renting out. This will occur by the driver first removing the truck/semi-trailer from the parking stall and then pulling the car into the same stall.

Based on an extensive review of the market, the Applicant believes there is a great need for a truck and semi-trailer parking facility in the area for small and independent trucking organizations. The Applicant has been very actively seeking locations for such a facility for a number of years, and has reviewed properties in Wheeling, Prospect Heights and Chicago.

The majority of the trucks and semi-trailers parked at the Subject Property will be the Applicant's trucking and semi-trailer clients. These clients will rent out parking spaces on the Subject Property in order to temporarily store their vehicles (including overnight storage). There could be one company that has rented 50 parking stalls at the Subject Property and one company that only has 5 parking stalls at the Subject Property. The Applicant will be open to interested independent truckers. The lease term for a driver's rented stall at the Subject Property will be no more than ninety days.

The Applicant will ensure the Subject Property is safe and secure and will not be disruptive to the surrounding properties. The hours of the operations at the Subject Property will be the following:

- *Weekdays: 8 am to 6 pm.*
- *Saturdays: 7 am to 12 am.*
- *Sundays: 8 am to 5 pm.*

During hours of operation, there will be approximately three employees at the Subject Property to secure the site. During off hours, there will be approximately thirteen security cameras to make sure the Subject Property is secure and eight pre-existing light posts to ensure the Subject Property is sufficiently lighted. The Applicant does plan to construct a new five foot wooden fence on all sides of the Subject Property. The Applicant does not intend that any truck driver will sleep overnight within his or her truck, but instead, park the truck at the Subject Property and drive home. The new building will have a bathroom and offices for the Applicant's employees. If a driver would like to access the Subject Property during off hours, the driver must obtain pre-approval from the Applicant one day in advance. The driver will then access the Subject Property during off hours through the Subject Property's security gate with a passcode provided by the Applicant.

The Applicant will maintain the Subject Property in a clean and organized manner. Garbage at the Subject Property will be collected twice a week. The Applicant plans to repave the parking lot at the site.

Third, the Applicant's use of the site will be beneficial to the surrounding properties. The Subject Property has been almost 100% vacant and unused since 2012. The Applicant's occupancy of the Subject Property will ensure the site does not fall into disrepair. Additionally, the Applicant plans to repave the parking and construct a new building on the site, which will increase the Subject Property tax revenue generated by the Subject Property. Finally, local industrial businesses will be able to rent available parking spaces at the Subject Property, alleviating the parking concerns at their own site."

The Plan Commission should further discuss the operations of the proposed use with the petitioner to fully understand the impacts on the vicinity.

4. State how the location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site shall be such that the use will not hinder or discourage

the appropriate development and use of adjacent land and buildings, or will not impair the value thereof. (Explain how the proposed use will not prevent development on adjacent properties. Will the proposed use have a negative impact on existing adjacent land uses?)

“The Applicant’s use of the Subject Property will reflect the uses of the surrounding properties. The Subject Property is currently surrounded on all sides by industrial properties. Trucks and semi-trailers are already a frequent presence due to the nature of these neighboring industrial properties. The Applicant will primarily utilize the ancillary streets of Abbott Drive and Holbrook Drive, which it shares with the neighboring industrial properties. The Applicant will ensure that its Subject Property is in a state of good repair. The Applicant’s use of the Subject Property will cause minimal-to-no increase in pollution to the area such as noise, odor, smoke or light pollution.”

The proposed 6-foot fence surrounding the property and existing mature landscaping along the front of the property will adequately screen the proposed outdoor storage uses.

5. State how the parking areas will be of adequate size for the particular use, properly located, and suitably screened from adjoining residential uses, entrance and exit drives shall be laid out so as to prevent traffic hazards and nuisances, and the development will not cause traffic congestion. (Is adequate parking provided? Is parking area visible from adjacent homes? Are the entrance and exit drives designed for safe access to the site? Will the special use generate so much traffic as to cause congestion? Will visitors to the special use access the site through residential streets?)

“The Subject Property is separated from the nearest residential properties by Palatine Road. The nearest residential properties, located to the south of the Subject Property and across Palatine Road, open up to separate streets and do not share points of ingress and egress with the Subject Property. To the north, south, east, and west of the Subject Property are similar industrial properties. The Applicant will keep the Subject Property in good repair so as not to disturb the surrounding industrial properties.

The Subject Property is located on the northern side of Abbott Road. The properties on the southern side have direct access to Palatine Road. There are five lots on the northern side of Abbott Road. These five lots have three access points to Abbott Road:

- *Holbrook Drive.*
- *Alley to east of 120 West Palatine Road.*
- *Abbott Road.*

With these three access points, the Applicant believes its proposed use will create little-to-no traffic congestion for the area.

Additionally, the Applicant plans to properly screen the Subject Property. It plans to construct an approximately five foot wooden fence on all sides of the Subject Property.”

The proposed site accommodates parking for 78 cars and their drivers and five additional parking spaces for employees or visitors.

6. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulation in that zone. (Other than the special use

listed in this application, the proposal must meet all other requirements of the Zoning Code. Note any other exceptions.)

“The Subject Property consists of a large parking lot. The surrounding properties do not seem to have a need for a large parking lot. The site has been vacant since 2012. If the Applicant does not use the site for truck and semi-trailer parking, the Subject Property will continue to remain vacant for the foreseeable future.”

The property has been vacant for several years. Without approval of the proposed special uses, it will likely remain vacant for some time.

STAFF REVIEW

Fire Department Review: The Fire Department has submitted comments dated October 20, 2016. These comments can be addressed at permit.

Engineering Division Review: The Engineering Division has met with the petitioner on site to discuss the condition of the parking lot. Subsequently, the petitioner has provided a phased paving plan that is agreed upon by the Engineering Division. The Engineering Division has provided comments dated November 23, 2016. Per the engineering comments, two conditions of approval have been added to the motions regarding the approvals, which are not addressed by the petitioner's plan.

Impact on Adjacent Uses: There is no significant impact anticipated on adjacent uses.

Staff Recommended Action: Staff recommends that the Plan Commission review the comments from at the October 27th hearing and the petitioner's responses, which are provided in the update from the October 27th meeting on page 2 of this staff report. Staff also recommends that the Plan Commission review the estimated timeline and staff's suggested firm completion date of September 30, 2019 with the petitioner.

PROPOSED MOTIONS

If the Plan Commission finds that the petitioner has satisfied the requirements for the granting of the requested two special uses, appropriate motions would be to:

Recommend approval of Docket No. 2016-21A to grant Special Use-Site Plan Approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts, Chapter 19-10 Use Regulations, Chapter 19-12 Site Plan Approval Requirements, in order to establish a truck freight terminal, in accordance with the following exhibits submitted November 10, 2016 (except as noted) for 150 Abbott Drive, Wheeling, Illinois:

- Cover letter (3 sheets),
- Site plan,
- Landscape plan,
- Estimated timeline (November 22, 2016),
- Phased paving plan (November 22, 2016),

Wheeling Plan Commission
Meeting date: December 1, 2016
RE: Docket Nos. 2016-21A&C

- Paving contract (November 22, 2016),
- Landscape maintenance contract,
- Landscape plantings contract,
- Building floor/elevation plan and trash enclosure plan,
- Photos of proposed fence gate,
- Lighting plan (October 21, 2016), and
- ALTA survey (September 23, 2016).

And with the following conditions:

1. That tenants (drivers) are not allowed to stay overnight on the premises;
2. Outdoor material storage is prohibited;
3. Daily or hourly parking is prohibited;
4. The onsite management of fence shall maintain a manifest of the tenants, which shall be available to the Village upon request;
5. No truck repair or maintenance is allowed on site;
6. The fence shall have wood-wrapped steel posts;
7. Provided the existing aprons are not damaged during construction or utility work, the complete replacement of the concrete aprons shall be completed during the final phase of the parking lot paving plan;
8. If the existing aprons are damaged during construction or utility work, complete replacement of the concrete aprons will be required at that time; and
9. All site improvements and utility work shall be completed substantially in compliance with the provided estimated timeline and phased paving plan and shall be completed by no later than September 30, 2019.

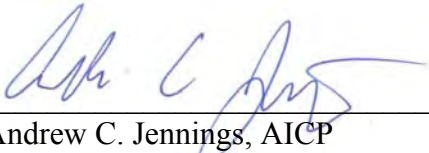
And recommend approval of Docket No. 2016-21C to grant Special Use- Site Plan Approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts, Chapter 19-10 Use Regulations, Chapter 19-12 Site Plan Approval Requirements, in order to establish heavy motor vehicle outdoor storage, in accordance with the following exhibits submitted November 10, 2016 (except as noted) for 150 Abbott Drive, Wheeling, Illinois:

- Cover letter (3 sheets),
- Site plan,
- Landscape plan,
- Estimated timeline (November 22, 2016),
- Phased paving plan (November 22, 2016),
- Paving contract (November 22, 2016),
- Landscape maintenance contract,
- Landscape plantings contract,
- Building floor/elevation plan and trash enclosure plan,
- Photos of proposed fence gate,
- Lighting plan (October 21, 2016), and
- ALTA survey (September 23, 2016).

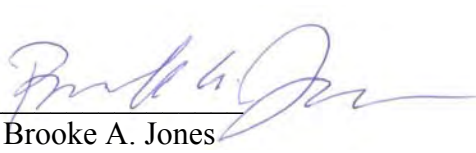
And with the following conditions:

Wheeling Plan Commission
Meeting date: December 1, 2016
RE: Docket Nos. 2016-21A&C

1. That tenants (drivers) are not allowed to stay overnight on the premises;
2. Outdoor material storage is prohibited;
3. Daily or hourly parking is prohibited;
4. The onsite management of fice shall maintain a manifest of the tenants, which shall be available to the Village upon request;
5. No truck repair or maintenance is allowed on site;
6. The fence shall have wood-wrapped steel posts; and
7. Provided the existing aprons are not damaged during construction or utility work, the complete replacement of the concrete aprons shall be completed during the final phase of the parking lot paving plan;
8. If the existing aprons are damaged during construction or utility work, complete replacement of the concrete aprons will be required at that time; and
9. All site improvements and utility work shall be completed substantially in compliance with the provided estimated timeline and phased paving plan and shall be completed by no later than September 30, 2019.



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachments:

[Fire Department comments, dated 10.20.2016](#)

[Engineering Division comments, dated 11.23.2016](#)

[Photos of existing conditions \(staff\)](#)

[Cover letter](#)

[Site plan](#)

[Landscape plan](#)

[Estimated timeline](#)

[Phased paving plan](#)

[Paving contract](#)

[Landscape maintenance contract](#)

[Landscape plantings contract](#)

[Building floor/elevation plan and trash enclosure plan](#)

[Photos of proposed fence gate](#)

[Lighting plan](#)

[ALTA survey](#)



MEMO – Fire Prevention Bureau

TO: Brooke Jones, Village Planner
FROM: Ronald S. Antor, Fire Inspector
CC: Andrew Jennings, Director of Community Development
Keith MacIsaac, Fire Chief
FPB File
DATE: October 20, 2016
SUBJECT: Proposed Special Use for a Truck Terminal – JV Global Services LLC – 150 Abbott Drive – Plans received for review by the Fire Department, September 30, 2016.

The Wheeling Fire Department has reviewed the submittals received related to the above referenced project and has the following comments:

Site Plan

1. Based on the petitioner's submittals the Fire Department has the following site plan comments:
 - a. The following areas shall be posted fire lanes:
 - i. West side of the west drive aisle.
 - ii. East side of the east drive aisle.
 - iii. South side of south drive aisle.
 - b. A looped watermain shall be provided on the site with fire hydrants provided to service the site.
 - c. Fire Hydrants shall be provided at the following locations:
 - i. Within 50' of the building's Fire Department Connection (FDC).
 - ii. Along the west drive by the last row of vehicle parking.
 - iii. Along the east drive by the last row of vehicle parking.
 - iv. Along the east drive in the area of the entrance to the site.
 - d. A clear space of at least four feet shall be maintained around the circumference of any fire hydrants. This includes light fixtures, transformers, and landscaping.
 - e. Fire Department access shall be provided to the site at any locked/secured gates.
 - f. No mechanical service shall be performed to vehicles on site.

Ms. Brooke Jones

SUBJECT: Proposed Special Use for a Truck Terminal – JV Global Services LLC – 150 Abbott Drive – Plans received for review by the Fire Department, September 30, 2016.

October 20, 2016

Page 2

150 Abbott Drive - Proposed truck terminal with office building

1. The petitioner is proposing a truck parking terminal and office structure. The proposed building would be a (B) Business Use Group occupancy as defined in the 2012 Edition of the International Building Code (IBC) and Fire Prevention Codes (IFC).
2. All construction within the building would need to comply with the Village's Building and Fire Prevention Codes (2012 Editions of the International Building Code & International Fire Code – with amendments).
3. As noted in Comment #2, the proposed building will need to comply with the Village's Building and Fire Prevention Codes. Some of the items that this would include and would need to be addressed during the permitting process are:
 - i. The building is required to be equipped throughout with an automatic fire sprinkler system.
 1. The water service for the sprinkler system shall be separate from the domestic service for the building.
 - ii. The building is required to be equipped throughout with a fire alarm system.
 - iii. The location of the building's fire sprinkler system Fire Department Connection (FDC) needs to be located at the front of the building or other location as approved by the Fire Department. The Fire Department Connection shall not be blocked by landscaping, utilities or other similar obstructions.

At this time there are no other Fire Department comments related to the project as presented in the documents reviewed.



MEMORANDUM

TO: Brooke Jones, Senior Planner

FROM: Kyle Goetzelmann, Civil Engineer I

COPY: Jon Tack, Village Engineer

DATE: November 23rd, 2016

SUBJECT: Truck Terminal Phasing of Hydrants, Water Main, and Parking Lot Restoration
150 Abbott Drive - Review Comments

The Engineering Division received a fire hydrant, water main installation, and parking lot restoration phasing plan for the subject project on November 22nd, 2016. The Engineering Division has completed a review of the above referenced submittal and offers the following comments at this time:

1. Any damage to the aprons or trenching through the aprons as a result of the water main work should result in complete replacement of the apron instead of a temporary patch repair.
2. Parking lot restoration should follow the phasing schedule that was proposed. If the concrete apron isn't damaged during the water main work, replacement will need to be completed during the last phase of this restoration.
3. Any changes to the proposed phasing need to be approved by engineering staff.
4. Engineering permit and IEPA permit will need to be obtained prior to commencement of the above mentioned work.
5. If site disturbance is greater than ½ acre, MWRD permit will also be required.

JV Global Services – 150 Abbott Drive

**Docket No. 2016-21A&C (Special Use-Site Plan Approval of a Truck Freight Terminal
and Heavy Motor Vehicle Outdoor Storage)**

Plan Commission Meeting – December 1, 2016



Existing conditions along Abbott Drive (looking northeast)

JV Global Services – 150 Abbott Drive

**Docket No. 2016-21A&C (Special Use-Site Plan Approval of a Truck Freight Terminal
and Heavy Motor Vehicle Outdoor Storage)
Plan Commission Meeting – December 1, 2016**



Existing conditions along Abbott Drive (looking northwest)

150 Abbott Drive (PIN: 03-14-301-017-0000)

Operations and Special Use Details

JerVal LLC seeks the following Special Use Permits for the Subject Property, which is zoned as an I-3 zoning district:

- Special use for a “Truck Freight Terminal”.
- Special use for a “Heavy Motor Vehicle Outdoor Storage”.

JerVal LLC is a newly formed entity that is managed by two Village of Wheeling business men: Jerome Starr and Vladamir Vareldzhyan. Mr. Starr owns and operates Aargus Plastics, a polyethylene extruder, converter, and printer located 540 Allendale Drive in Wheeling. Mr. Vareldzhyan owns and operates A-Z Global, a vehicle transporter located at 555 Allendale Drive in Wheeling. Mr. Starr also owns 540 Allendale Drive and 555 Allendale Drive through related entities.

Based on the review of the market, Mr. Starr and Mr. Vareldzhyan strongly believe there is a need for a truck parking facility in the area. For the last few years, they have searched for a proper location for this truck parking facility. This search has included properties in Wheeling, Prospect Heights and Chicago.

After their extensive review, Mr. Starr and Mr. Vareldzhyan believe the Subject Property would be an ideal location for the new truck parking facility. They plan to purchase and own the Subject Property through JerVal LLC and operate the truck parking facility under the name JV Global Services LLC.

The Subject Property has been almost 100% vacant and unused since January 2012. Previous to this vacancy, the Subject Property was the truck parking lot for the neighboring facility located at 120 West Palatine Road in Wheeling, Illinois.

Based on Mr. Starr’s and Mr. Vareldzhyan’s review of the Subject Property, JV Global Services LLC plans to have approximately 78 parking spaces for trucks and semi-truck trailers at the Subject Property. Each parking stall will be available to rent individually. The lease term for each stall will be no more than 90 days, at which time, the client will have the opportunity to renew its lease of the stall. As each stall will be no more than 70 feet, the truck and trailer that will park in the stall will not be allowed to be more than 70 feet in combined length. The truck/semi-trucks will be similar to the truck/semi-trucks used by the surrounding businesses. JV Global Services LLC expects the truck/semi-trailers to remain parked at the Subject Property no more than 30 continuous days; however, as these will be leased stalls, JV Global Services LLC cannot guarantee trucks/semi-trailers will remain at the Subject Property for no more than 30 continuous days. JV Global Services LLC expects on average approximately 7 to 13 trucks to visit the Subject Property daily.

The majority of the trucks and semi-trailers parked at the Subject Property will be Mr. Starr’s and Mr. Vareldzhyan’s trucking and semi-trailer clients. These clients will rent out parking spaces on the Subject Property in order to temporarily store their vehicles (including

overnight storage). There could be one company that has rented 50 parking stalls at the Subject Property and one company that only has 5 parking stalls at the Subject Property. JV Global Services LLC will be open to interested independent truckers or overflow trucks from neighboring properties.

JV Global Services LLC plans to have approximately three employees working at the subject property during operation hours. JerVal LLC plans to construct a brand new approximately 400 square foot building on the Subject Property for the employees (the “New Building”). The New Building will have an office and bathroom. There will be four parking stalls near the New Building for the employees. One of these parking stalls will be ADA compliant.

The hours of the operations at the Subject Property will be the following:

- Weekdays: 8 am to 6 pm.
- Saturdays: 7 am to 12 am.
- Sundays: 8 am to 5 pm.

During hours of operation, JV Global Services LLC expects to have approximately three employees at the property (unless an employee has the day off). During off hours, there will be approximately thirteen security cameras to make sure the Subject Property is secure and eight pre-existing light posts to ensure the Subject Property is sufficiently lighted. JerVal LLC does plan to construct a new six foot wooden fence on all sides of the Subject Property. This fence will be constructed using wood-wrapped steel posts. If a driver would like to access the Subject Property during off hours, the driver must obtain pre-approval from JV Global Services LLC at least one day in advance. The driver will then access the Subject Property during off hours through the Subject Property’s security gate with a passcode provided by JV Global Services LLC.

JV Global Services LLC will maintain the Subject Property in a clean and organized manner. Garbage at the Subject Property will be stored in a masonry constructed trash enclosure. Garbage will be collected twice a week. JerVal LLC will reseal the parking lot at the site.

There will be no need for on-street parking as all of the parking will occur on the Subject Property. There are sufficient parking stall for JV Global Services LLC’s employees. A driver who drives to the Subject Property in his or her personal car will park such car in the same stall as he or she is renting out. This will occur by the driver first removing the truck/semi-trailer from the parking stall and then pulling the car into the same stall.

Please note that JerVal LLC will agree to the following Village of Wheeling’s conditions:

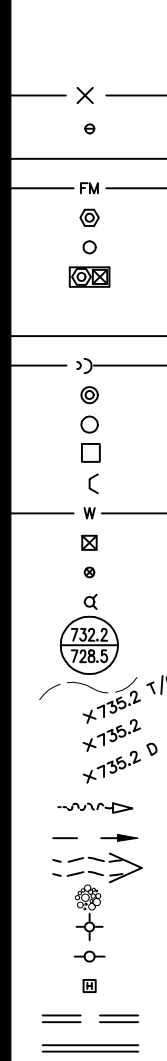
- Tenants (drivers) will not be allowed to stay overnight on the Subject Property.
- Outdoor material storage will not be permitted at the Subject Property.
- Daily or hourly parking terms will not be permitted at the Subject Property.
- Onsite management office shall maintain a manifest of the tenants at the Subject Property, which shall be available to the Village upon requests.

- There will be no truck repair or maintenance allowed at the Subject Property.

Please also note that between December and March every year, JerVal LLC will reduce the number of truck parking stalls on the Subject Property to 76. The two removed parking stalls will be saved for storage of excess snow on the Subject Property. These two removed parking stalls will be the two most southeastern parking stalls at the Subject Property.

With approval of the proposed Special Use for the Subject Property, Mr. Starr and Mr. Vareldzhyan look forward to growing its relationship with the Village of Wheeling and continuing to be a part of the local business community.

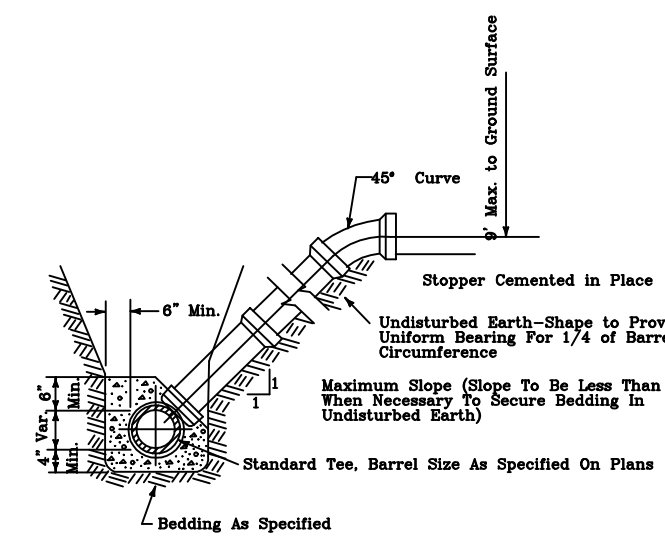
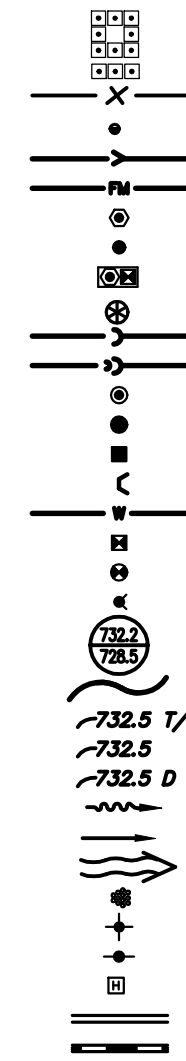
EXISTING



SYMBOLS LEGEND

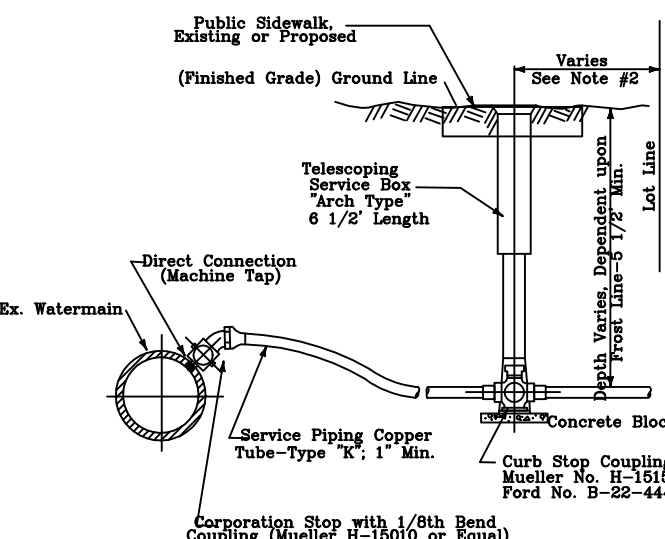
INLET PROTECTION
DITCH CHECK
SILT FENCE
B-BOX
SANITARY SEWER
FORCE MAIN
SANITARY MANHOLE
CLEANOUT
LIFT STATION
SOIL BORING
STORM SEWER
P.V.C. UNDER DRAIN
STORM MANHOLE
CATCH BASIN
INLET
FLARED END SECTION
WATERMAIN
VALVE VAULT / WELL
VALVE BOX
FIRE HYDRANT
RIM ELEVATION
INVERT ELEVATION
CONTOURS
TOP OF CURB ELEVATION
PAVEMENT/GROUND ELEVATION
SWALE ELEVATION
SWALE
OVERLAND FLOW
OVERFLOW RELIEF ROUTE
RIP-RAP
STREET LIGHT
POWER POLE
HANDHOLE
CURB AND GUTTER
REVERSE CURB AND GUTTER
SUMMIT POINT
LOW POINT

PROPOSED



1. Riser To Be Constructed In Line Of Pipe
Sewer Depth Exceeds Nine (9) Feet
2. The bedding under the pipe filling and slab shall be carefully
compacted to prevent the pipe from rotating.
3. The sanitary service connection shall be laid in a straight line
and at a uniform gradient from the top of the riser from the
main line to 5' beyond the right-of-way line.
4. Securely plug the end of the service connection.

SEWER SERVICE INSTALLATION



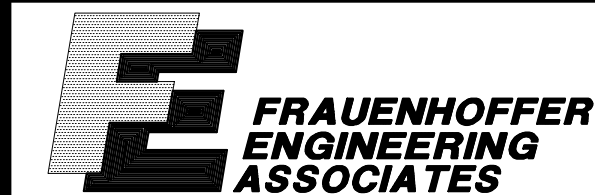
- Notes:
1. Compacted Granular Trench Backfill is Required where any Portion of
Excavation Activity is Within Three (3) Feet Horizontally of Existing
or Proposed Pavements, Driveways, or Sidewalks.
 2. Where Public Sidewalk is Present or Proposed, B-Box
Shall Be Centered Within Width of Sidewalk.
 3. When Water Services are Installed as Replacements for an Existing
Service, Village Water Maintenance Personnel Shall Make the Tap
for Services 2" in Diameter or Smaller.

WATER SERVICE INSTALLATION

JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

1-800-892-0123



Consulting Civil Engineers

28835 N. Herky Drive, Suite 205 • Lake Bluff, Illinois • 60044
(847) 680-1866 • FAX (847) 362-4477

| DATE | REVISIONS |
|----------|--------------------------------------|
| 11-10-16 | REVISED PER VILLAGE COMMENTS |
| | [Exhibit received November 10, 2016] |

DRAWN BY: R/JF
CHECKED BY: R/JF
DATE: 8-26-16
SCALE: 1"=20'

**150 ABBOTT DRIVE
VILLAGE OF WHEELING**

BUILDING ADDITION AND SITE PARKING LAYOUT

ROBERT J. FRAUENHOFER
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
062-046760
EXPIRATION DATE: 11-30-2017

1 OF 1
WHL-16-026

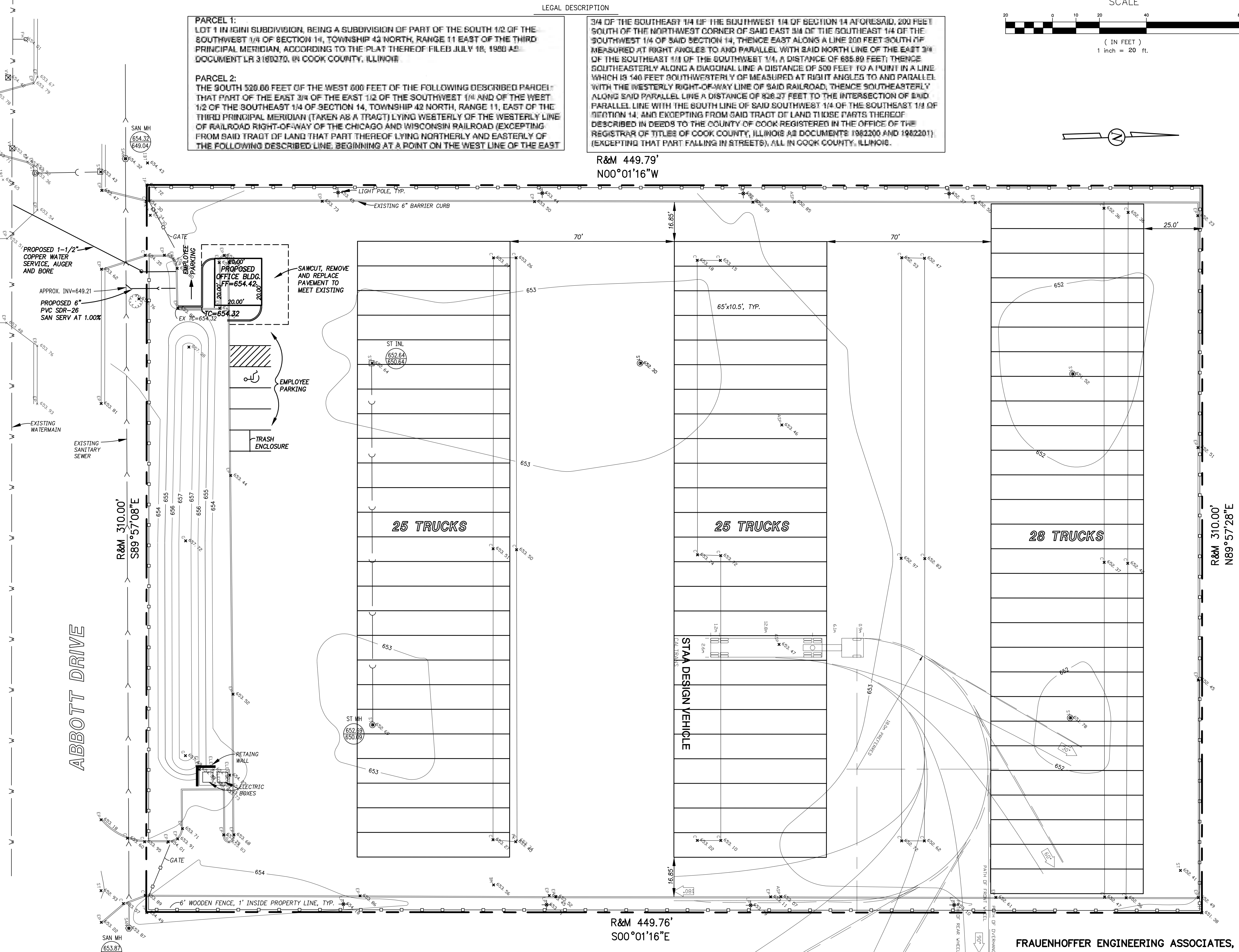
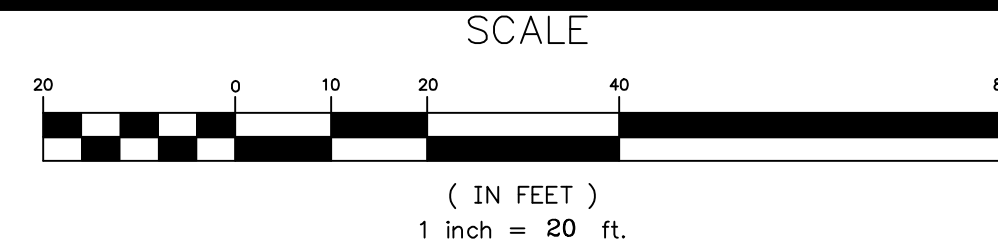
LEGAL DESCRIPTION

PARCEL 1:
LOT 1 IN IGINI SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTH 1/2 OF THE
SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF FILED JULY 18, 1990 AS
DOCUMENT LR 3189279, IN COOK COUNTY, ILLINOIS.

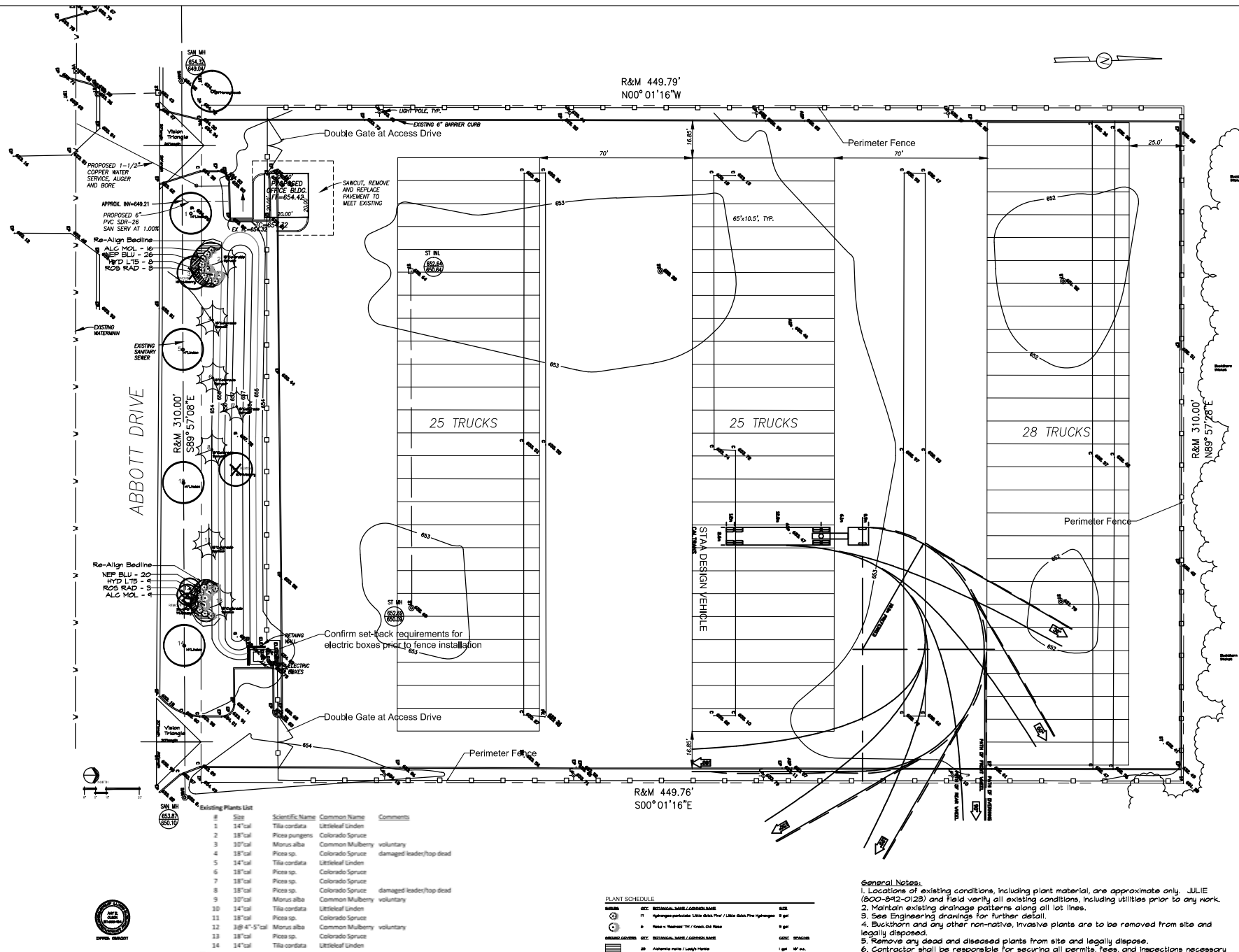
PARCEL 2:
THE SOUTH 520.00 FEET OF THE WEST 600 FEET OF THE FOLLOWING DESCRIBED PARCEL:
THAT PART OF THE EAST 3/4 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 AND OF THE WEST
1/2 OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE
THIRD PRINCIPAL MERIDIAN (TAKEN AS A TRACT) LYING WESTERLY OF THE WESTERLY LINE
OF RAILROAD RIGHT-OF-WAY OF THE CHICAGO AND WISCONSIN RAILROAD (EXCEPTING
FROM SAID TRACT OF LAND THAT PART THEREOF LYING NORTHERLY AND EASTERLY OF
THE FOLLOWING DESCRIBED LINE, BEGINNING AT A POINT ON THE WEST LINE OF THE EAST

3/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14 AFORESAID, 200 FEET
SOUTH OF THE NORTHWEST CORNER OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF SAID SECTION 14, THENCE EAST ALONG A LINE 200 FEET SOUTH 71°
MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH SAID NORTH LINE OF THE EAST 3/4
OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 685.89 FEET; THENCE
SOUTHEASTERLY ALONG A DIAGONAL LINE A DISTANCE OF 500 FEET TO A POINT IN A LINE
WHICH IS 140 FEET SOUTHWESTERLY OF MEASURED AT RIGHT ANGLES TO AND PARALLEL
WITH THE WESTERLY RIGHT-OF-WAY LINE OF SAID RAILROAD, THENCE SOUTHEASTERLY
ALONG SAID PARALLEL LINE A DISTANCE OF 828.27 FEET TO THE INTERSECTION OF SAID
PARALLEL LINE WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 14, AND EXCEPTING FROM SAID TRACT OF LAND THOSE PARTS THEREOF
DESCRIBED IN DEEDS TO THE COUNTY OF COOK REGISTERED IN THE OFFICE OF THE
REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS AS DOCUMENTS 1982300 AND 1982301,
(EXCEPTING THAT PART FALLING IN STREETS), ALL IN COOK COUNTY, ILLINOIS.

R&M 449.79'
N00°01'16"W



FRAUENHOFER ENGINEERING ASSOCIATES, P.C.



Any E. Olsen A.S.A.
Registered Landscape Architect
150 East Hinz Road
Wheeling, Illinois 60090
SINCE 1988

| # | Size | Scientific Name | Common Name | Comments |
|----|-----------------|-----------------|-------------------|-------------------------|
| 1 | 14" cal | Tilia cordata | Littlereaf Linden | |
| 2 | 18" cal | Picea pungens | Colorado Spruce | |
| 3 | 10" cal | Morus alba | Common Mulberry | voluntary |
| 4 | 18" cal | Picea sp. | Colorado Spruce | damaged leader/top dead |
| 5 | 14" cal | Tilia cordata | Littlereaf Linden | |
| 6 | 18" cal | Picea sp. | Colorado Spruce | |
| 7 | 18" cal | Picea sp. | Colorado Spruce | |
| 8 | 18" cal | Picea sp. | Colorado Spruce | damaged leader/top dead |
| 9 | 10" cal | Morus alba | Common Mulberry | voluntary |
| 10 | 14" cal | Tilia cordata | Littlereaf Linden | |
| 11 | 18" cal | Picea sp. | Colorado Spruce | |
| 12 | 3 @ 4" - 5" cal | Morus alba | Common Mulberry | voluntary |
| 13 | 18" cal | Picea sp. | Colorado Spruce | |
| 14 | 14" cal | Tilia cordata | Littlereaf Linden | |

- Notes:
1. Remove all voluntary mulberry and buckthorn and any dead shrubs.
 2. Prune spruce and linden for health and structure.

| SYMBOL | QTY | RECOMMENDATION / COMMENTS | SIZE |
|--------|-----|--|-------|
| 17 | 17 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 18 | 18 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 19 | 19 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 20 | 20 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 21 | 21 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 22 | 22 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 23 | 23 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 24 | 24 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 25 | 25 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 26 | 26 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 27 | 27 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 28 | 28 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 29 | 29 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 30 | 30 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 31 | 31 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 32 | 32 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 33 | 33 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 34 | 34 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 35 | 35 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 36 | 36 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 37 | 37 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 38 | 38 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 39 | 39 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 40 | 40 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 41 | 41 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 42 | 42 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 43 | 43 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 44 | 44 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 45 | 45 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 46 | 46 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 47 | 47 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 48 | 48 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 49 | 49 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 50 | 50 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 51 | 51 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 52 | 52 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 53 | 53 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 54 | 54 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 55 | 55 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 56 | 56 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 57 | 57 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 58 | 58 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 59 | 59 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 60 | 60 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 61 | 61 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 62 | 62 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 63 | 63 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 64 | 64 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 65 | 65 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 66 | 66 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 67 | 67 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 68 | 68 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 69 | 69 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 70 | 70 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 71 | 71 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 72 | 72 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 73 | 73 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 74 | 74 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 75 | 75 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 76 | 76 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 77 | 77 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 78 | 78 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 79 | 79 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 80 | 80 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 81 | 81 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 82 | 82 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 83 | 83 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 84 | 84 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 85 | 85 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 86 | 86 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 87 | 87 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 88 | 88 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 89 | 89 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 90 | 90 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 91 | 91 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 92 | 92 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 93 | 93 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 94 | 94 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 95 | 95 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 96 | 96 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 97 | 97 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 98 | 98 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 99 | 99 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |
| 100 | 100 | Hydrangea paniculata Little Bush Hydr / Little Bush Hydr | 3 gal |

- General Notes:
1. Locations of existing conditions, including plant material, are approximate only. JULIE (800-842-0123) and field verify all existing conditions, including utilities prior to any work.
 2. Maintain existing drainage patterns along all lot lines.
 3. See Engineering drawings for further detail.
 4. Buckthorn and any other non-native, invasive plants are to be removed from site and legally disposed.
 5. Remove any dead and diseased plants from site and legally dispose.
 6. Contractor shall be responsible for securing all permits, fees, and inspections necessary for proper implementation of work. Refer to the Village of Wheeling, Illinois for further information and requirements.

Exhibit received November 10, 2016

Schedule:

Fence Layout 10.10.2016
Existing Trees 10.19.2016
Landscape Planting Design 11.09.2016

Project Manager: D.Hare
Drawn By: AEO
Date: 10.2016
Scale: 1"=20'-0"

Project: 150 ABBOTT DRIVE LOT
150 ABBOTT DRIVE
Wheeling, Illinois 60090

Client: Milieu Design, LLC
48 East Hinz Road
Wheeling, Illinois 60090
Office: 847-465-1160

Sheet:

1 / 1

150 Abbott Drive (PIN: 03-14-301-017-0000)
Estimated Timeline of Development

Please note that the below dates are weather dependent.

Installation of New Landscaping:

We expect to begin installation of the new landscaping on or about April or May of 2017 and finish installing the new landscaping around June 2017.

Installation of New Fence:

We expect to begin implementation of the new fence on or about April or May of 2017 and finish installing the new fence around June 2017.

Construction of New Building:

We expect to begin construction of the new building on or about April or May of 2017 and finish construction of the new building on or about June or July 2017.

Installation of Fire Hydrants:

After permits are pulled, we expect to begin construction of the new required fire hydrants on or about July or August 2017 and complete construction of the required fire hydrants on or about August 2017.

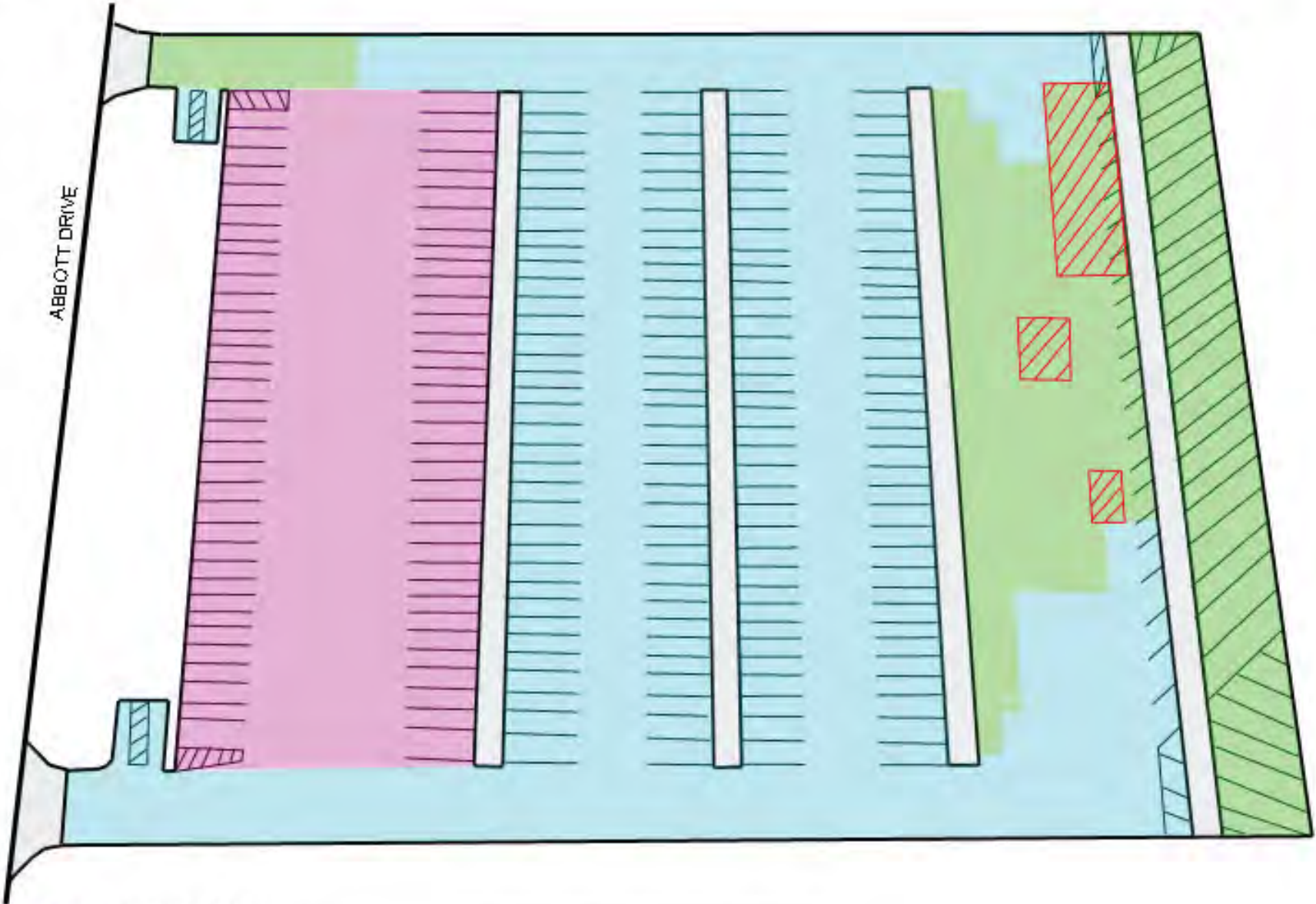
Repair of Asphalt:

We previously provided the Village of Wheeling a proposal by Maneval Paving to repair the subject property's parking lot in 2017 and 2018; however, we cannot begin repairing the parking lot until the above items are completed. If the installation of the fire hydrants are not completed until August 2017, we are concerned we may not have enough time to work on the repairing of the parking lot in 2017.

We respectfully request that our previously provided timeline be pushed back one year (the repairing will occur in 2018 and 2019). Please see the attached revised timeline reflecting this change.

Exhibit received November 22, 2016

* NOT TO SCALE



PHASED AREA BID LEGEND

| | |
|--|-----------------------------------|
| | MILL AND PAVE DEPTH 4" 2018 |
| | FULL DEPTH R&R DEPTH 12" 2018 |
| | COAL TAR EMULSION SEALER 2019 |
| | MILL AND PAVE DEPTH 4" 2019 |

| NOTE | APPROX. PAVEMENT AREA (sf) |
|--------|------------------------------|
| GREEN | TOTAL SF: 23,451 SY: 2,806 |
| RED | TOTAL SF: 2,623 SY: 291 |
| BLUE | TOTAL SF: 61,663 SY: 6,851 |
| PURPLE | TOTAL SF: 27,414 SY: 3,046 |

Exhibit received November 22, 2016

ISSUED TO BID



ESTABLISHED IN 1983

DESIGNED BY: MANEVAL
CONSTRUCTION INC. DEPT
OF ENGINEERING & ESTIMATING.

VVV DIAMOND
SERVICES

ABBOTT DRIVE
WHEELING, IL 60090
BITUMINOUS ASPHALT REPAIRS

COVER SHEET

| | |
|-------|-----|
| DATE: | |
| AMM | EIL |
| MMA | DLM |

C - 0.0



PROPOSAL
QUOTE: 16220R
DATE: 11/10/16

Senior Consultant: Austin Maneval
Direct: (224) 688-6685 Email: Amaneval@manevalconst.com

OWNER / MANAGEMENT: VVV DIAMOND SERVICES

Job site location: 150 Abbot Dr. Wheeling, IL 60090
Property Type: Industrial
Corporate: 555 Allendale Dr. Wheeling, IL 60090
Contact: Vram Vareldzhyan | President
Phone: (847) 630-9000
Email: vareldzhyan1983@icloud.com

| PHASE/ QUANTITY | WORK DISCRIPTION | |
|----------------------------------|--|-------------------------|
| NO WORK TO COMPLETED 2016 | Mill Deteriorated pavement with Wirtgen W210 Cold Planner Depth of 4.0" | <u>2016</u> |
| GREEN AREA SF - 23,451 2017 | Providing level transitions for inlet/sewer to accept Proposed pavement. | NO WORK TO BE COMPLETED |
| CURB R&R LF - 10 2017 | Excavate (RED HASHED AREA) 12" depth furnish and install 8" of CA-6 Aggregate | |
| RED AREA SF - 2,623 2017 | Remove and dispose of any damaged concrete "O" ring collars | <u>2017</u> |
| BLUE AREA SF - 61,663 2018 | Install new concrete "O" rings to adjust to proper grade if needed | GREEN AREA: \$74,000.00 |
| PURPLE AREA SF - 27,414 2018 | Properly clean and Furnish milled surface of loose debris with Elgin sweeper | CURB R&R: \$350.00 |
| DAYS OF OPERATION - 1 | Equally distribute CSS-I prime tack @ .25 Per Gal. | RED AREA: \$3,500.00 |
| | Install 2.5" of N50 Bituminous Binder CRSE | |
| | Install 1.5" of N50 Bituminous Surface CRSE using highway class paver | <u>2018</u> |
| | Providing Seamless mats up to sixteen - twenty Ft. | SEALCOAT: \$9,450.00 |
| | Compact using tandem vibratory rollers that will meet proper densities and | PURPLE AREA: 75,550.00 |
| | Rolling patterns that meet Illinois department of transportation specification | |
| | Traffic control and traffic personnel present throughout working operations | |
| | To properly direct traffic and deliveries | |
| | Re-stripe lot according to current regulations using chlorinated yellow or | |
| | White highway traffic paint. Applied with a Graco 3900 Line Lazer airless | |
| | Striping machine Material will meet or exceed OSHA and IDOT Specification | |
| | SEALCOAT | |
| | Power clean pavement with compressed air and mechanical Brooms. Chemical Treat | |
| | Oil stains with petro seal to increase Adhesion of new sealer. Apply (2) by spray over | |
| | Entire parking Lot. Sealer will be Jet black commercial grade sealer that meets/ | |
| | Exceeds federal specification. Illinois state spec R-355E. Strength | |
| | Against wear will use 2.5 pounds per gallon of #30 fine silicon | |
| | Sand added into tank and mechanically mixed. | |
| | Re-stripe lot according to current regulations using chlorinated yellow or | |
| | White highway traffic paint. Applied with a Graco 3900 Line Lazer airless | |
| | Striping machine Material will meet or exceed OSHA and IDOT Specification | |
| | | TOTAL: \$162,850.00 |



| | | |
|---|------------------|--|
| For Office Use Only: | | |
| 096684 | Date Sold: _____ | Sales ID: <u>1097</u> |
| Sent to Prod: _____ | | By: _____ |
| Client: <u>4882</u> | Job No: _____ | Sched/Crew: _____ |
| <input type="checkbox"/> T&M | Rate: _____ | <input type="checkbox"/> Per Occ Seq NO: _____ |
| Monthly Amt: _____ | | Batch ID: _____ |
| Charge to Credit Card: Y N Branch: <u>1</u> <u>2</u> <u>3</u> | | |

November 10, 2016

Vladimar Vareldzhyan
 555 Allendale Dr
 Wheeling, IL 60090

Job Site: JerVal LLC
 555 Allendale Dr
 Wheeling, IL 60090

Project: JerVal LLC 2016 Maintenance

Dear Vladimar Vareldzhyan

Milieu Design is pleased to present this proposal for landscape enhancement services.

WTEC - Nov

\$990.00

- Weed, Trim, Edge and Cultivate
- This visit will be dedicated to cutting the grass, edging and weeding the beds/tree rings and removing trash. No cultivating will be done.

Tree Removal/Prune

\$1,600.00

- Remove existing volunteer Mulberry trees that are encroaching into canopy of other good trees
- Prune our dead tops of 2 spruce
- Raise canopy of large lindens that hang very low

Mulch Installed - 30 cu yds

\$2,250.00

- Provide and install 30 cu yds shredded mulch in tree rings/beds on front berm

| | |
|-----------------------------|-------------------|
| Proposal Total: | \$4,840.00 |
| Deposit: | \$2,420.00 |
| Due Upon Completion: | \$2,420.00 |

Terms and Conditions:

- The proposed services will be invoiced upon the completion of the service.
- 100% warranty on plant material through November 1st of the installation year. Warranty is contingent upon receipt of all payments within 10 days of creation of invoices and proper watering of the plant material by the client.
- Warranty does not extend to sod, seed, annuals, bulbs or transplanted items.
- Plant warranties may be extended by contracting with Milieu Design for the full-service/comprehensive WTEC Program (Weed, Trim, Edge & Cultivate).
- All invoices are due upon receipt. A 2% service charge will be added to all open invoices after thirty (30) days.
- This proposal is valid for 30 days.
- There will be an extra charge for storm debris pickup and excess leaf pickup.
- Milieu Design is not responsible for any damage to wiring that is not marked by the client. This includes: decorative (landscape) lighting, dog fences, pumps or non-utility (TV/Internet/Irrigation).
- Milieu Design reserves the right to photograph areas of your property and use those photographs for publication on the internet or other Marketing media.

Payment Information:

Check or Electronic Funds Transfer (ACH) only
Credit Card Payments are not accepted

Exhibit received November 10, 2016



| | | |
|---|------------------|--|
| For Office Use Only: | | |
| 096720 | Date Sold: _____ | Sales ID: <u>1097</u> |
| Sent to Prod: _____ | | By: _____ |
| Client: <u>4882</u> | Job No: _____ | Sched/Crew: _____ |
| <input type="checkbox"/> T&M | Rate: _____ | <input type="checkbox"/> Per Occ Seq NO: _____ |
| Monthly Amt: _____ | | Batch ID: _____ |
| Charge to Credit Card: Y N Branch: <u>1</u> <u>2</u> <u>3</u> | | |

November 10, 2016

Vladimar Vareldzhyan
 555 Allendale Dr
 Wheeling, IL 60090

Job Site: JerVal LLC
 555 Allendale Dr
 Wheeling, IL 60090

Project: JerVal LLC 2016 New Planting

Dear Vladimar Vareldzhyan

Milieu Design is pleased to present this proposal for landscape enhancement services.

New Planting Beds

\$3,368.00

- Cut new bed line and strip off existing grass to create new planting beds
- Provide and install 2 cu yds landscape compost and cultivate into new planting beds
- Provide and install the following plants per plan
 - 17 Hydrangea paniculata 'Little Quick Fire' 5 gal
 - 6 Rose 'Radrazz (Knock Out Rose) 5 gal
 - 25 Cichemilla mollis 1 gal
 - 46 Nepeta Blue Wonder 1 gal
- Provide and install 3 cu yds shredded mulch in new planting beds

| | |
|-----------------------------|-------------------|
| Proposal Total: | \$3,368.00 |
| Deposit: | \$1,684.00 |
| Due Upon Completion: | \$1,684.00 |

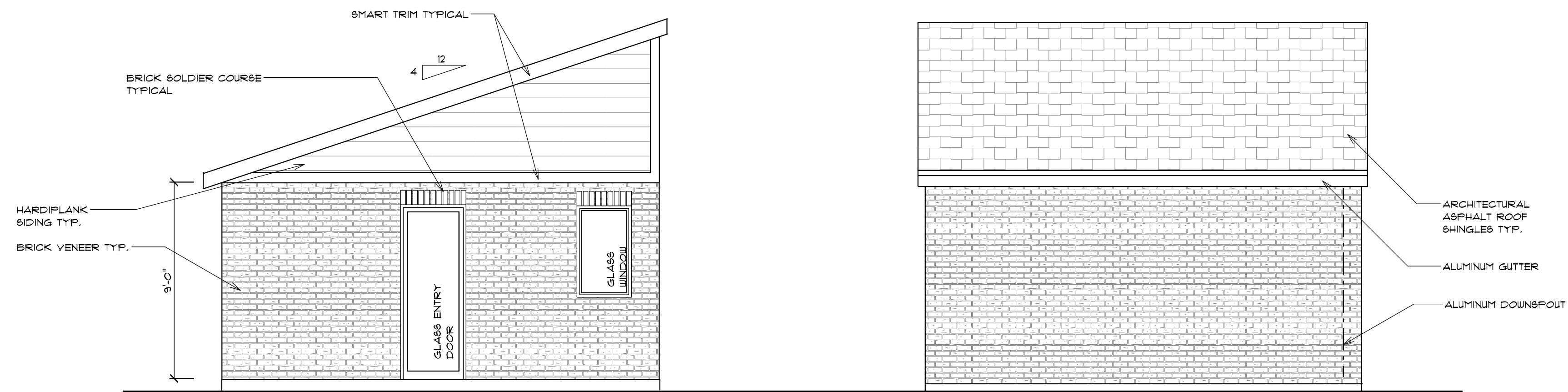
Terms and Conditions:

- The proposed services will be invoiced upon the completion of the service.
- 100% warranty on plant material through November 1st of the installation year. Warranty is contingent upon receipt of all payments within 10 days of creation of invoices and proper watering of the plant material by the client.
- Warranty does not extend to sod, seed, annuals, bulbs or transplanted items.
- Plant warranties may be extended by contracting with Milieu Design for the full-service/comprehensive WTEC Program (Weed, Trim, Edge & Cultivate).
- All invoices are due upon receipt. A 2% service charge will be added to all open invoices after thirty (30) days.
- This proposal is valid for 30 days.
- There will be an extra charge for storm debris pickup and excess leaf pickup.
- Milieu Design is not responsible for any damage to wiring that is not marked by the client. This includes: decorative (landscape) lighting, dog fences, pumps or non-utility (TV/Internet/Irrigation).
- Milieu Design reserves the right to photograph areas of your property and use those photographs for publication on the internet or other Marketing media.

Payment Information:

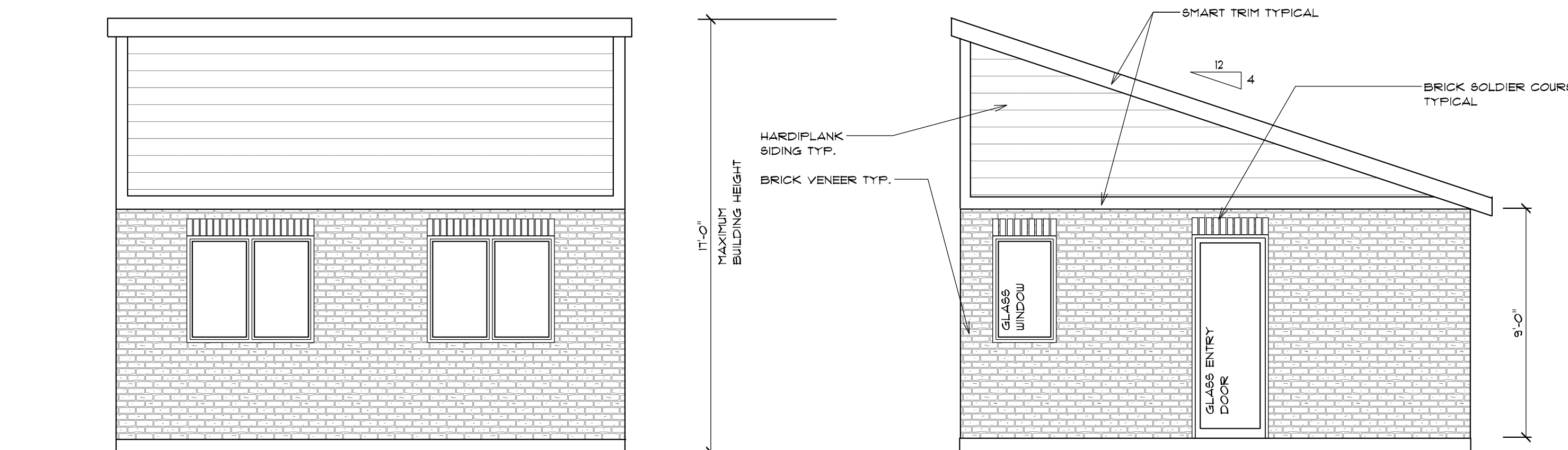
Check or Electronic Funds Transfer (ACH) only
Credit Card Payments are not accepted

Exhibit received November 10, 2016



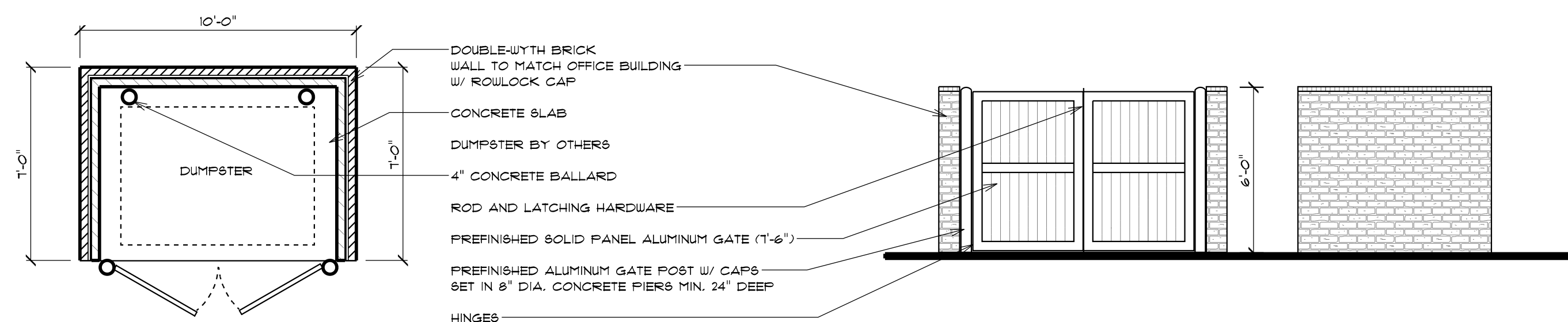
PROPOSED OFFICE NORTH ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED OFFICE EAST ELEVATION
SCALE 1/4" = 1'-0"



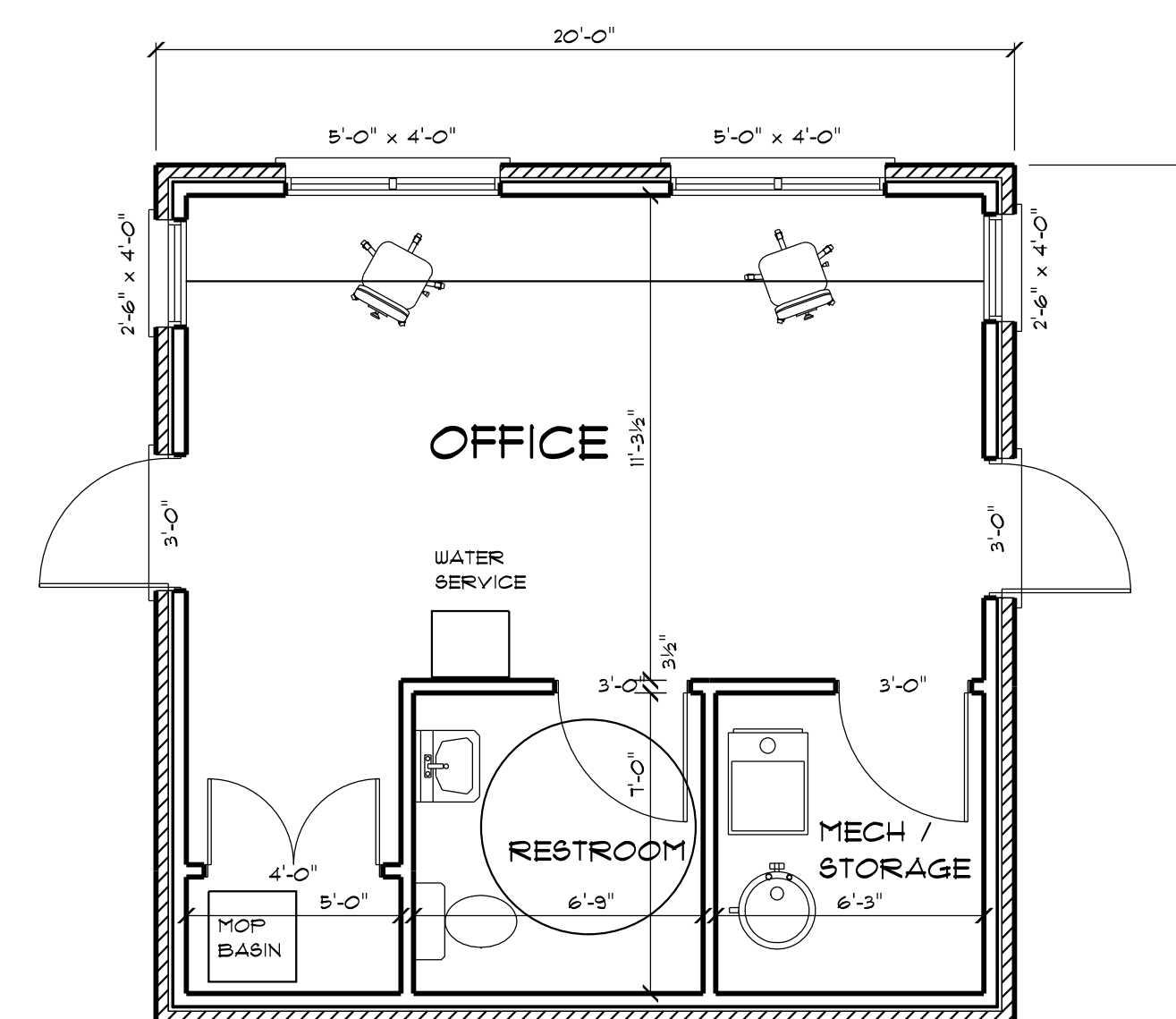
PROPOSED OFFICE WEST ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED OFFICE SOUTH ELEVATION
SCALE 1/4" = 1'-0"



TRASH ENCLOSURE PLAN
SCALE 1/4" = 1'-0"

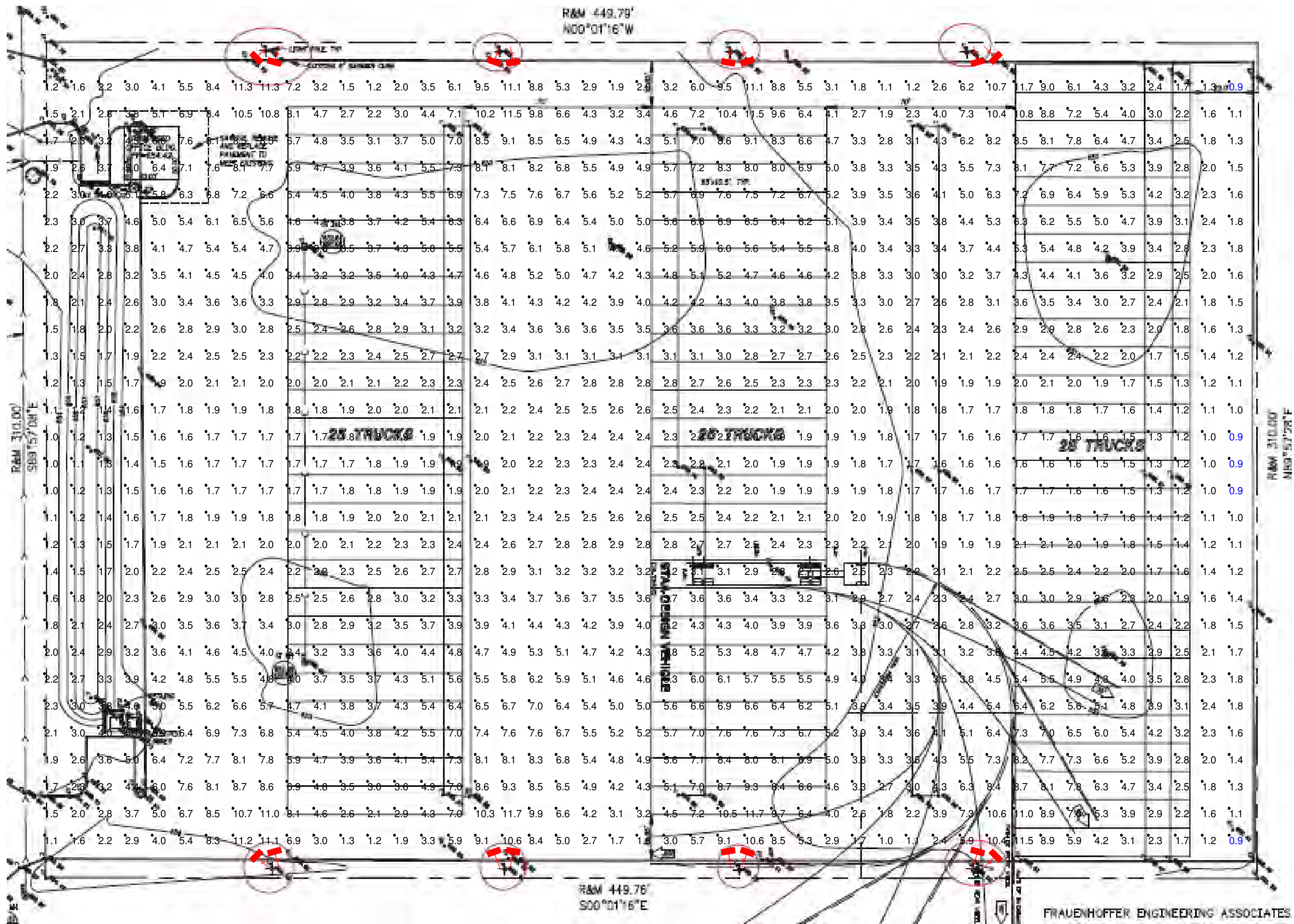
MASONRY TRASH ENCLOSURE TO MATCH MAIN OFFICE BUILDING.
CONCRETE SLAB PER ORDINANCE FOR DUMPSTER STORAGE SUPPORT.
PREFINISHED ALUMINUM HINGED GATE WITH ROD AND LATCHING HARDWARE
GATE TO BE STANDARD COLOR TO MATCH OFFICE BUILDING TRIM COLOR.



PROPOSED OFFICE PLAN
SCALE 1/4" = 1'-0"



Exhibit received November 10, 2016

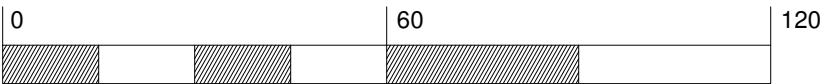


"Did you know that utility rebates can cover 25% or more of a product's cost? Email rebates@cree.com to get help on your project!"

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-------------|-------|-------------------------------|------------|
| Symbol | Qty | Label | Arrangement | Lumens/Lamp | LLF | Description | Lum. Watts |
| | 16 | SN-E | SINGLE | 38606 | 0.980 | FLD-EHO-SN-HV-12-E-xx-xx-1000 | 421 |

*** Fixtures mounted to existing 33.7' high pole and with a 65 degree tilt

| Footcandles calculated using predicted lumen values after 50K hours of operation | | | | | |
|--|------|------|-----|---------|---------|
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| CalcPts | 3.84 | 11.7 | 0.9 | 4.27 | 13.00 |



Customer responsible to verify mounting method, color, voltage, accessories, ordering information, catalogue number, etc. prior to placing order.

Exhibit received October 21, 2016



1200 92nd Street - Sturtevant, WI 53177
www.cree.com - (800) 236-6800

Project Name: Alta - 190 Abbott Drive, Wheeling, IL

SR18209

Date:10/4/2016

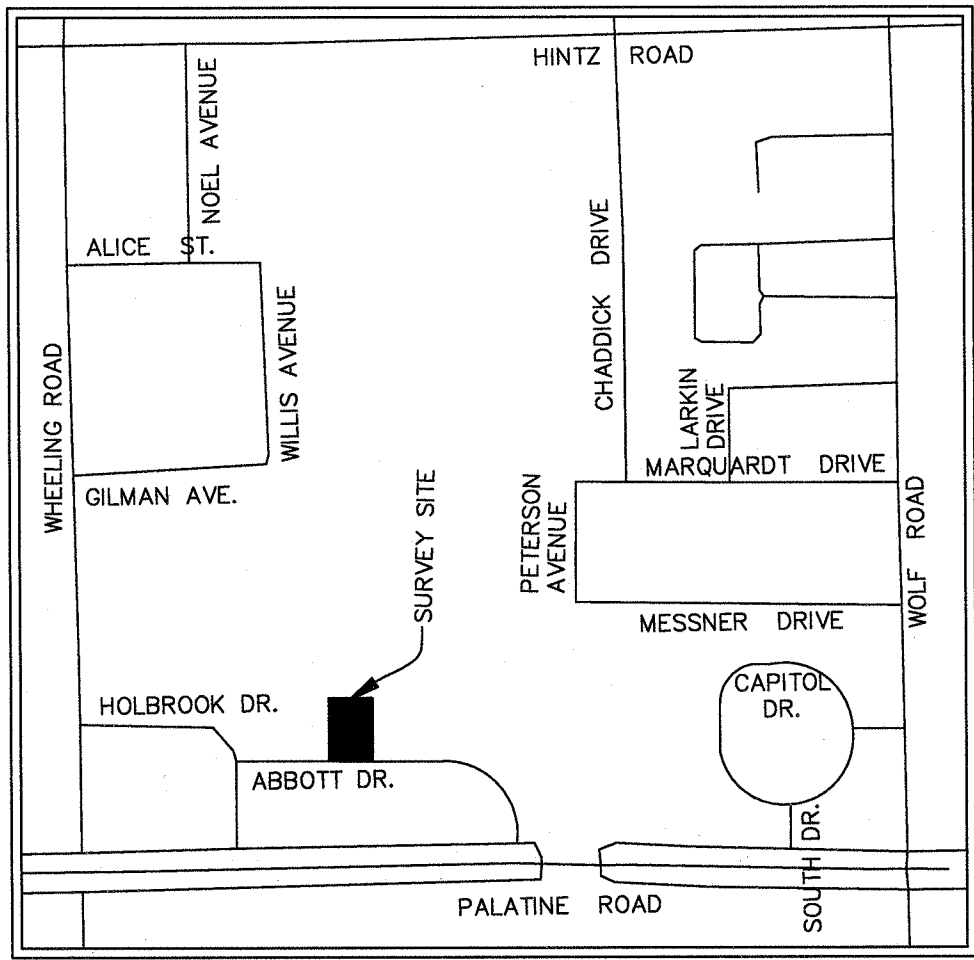
Scale: 1"=30'

Footcandles calculated at grade

Filename: S:\Out\161005CR1BRS.AGI

Layout by: Bill Schubert

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



VICINITY MAP
(NOT TO SCALE)

GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation

LICENSE No. 184-005322

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630

TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

ALTA / ACSM Land Title Survey

PARCEL 1:
LOT 1 IN IGINI SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF FILED JULY 16, 1980 AS DOCUMENT LR 3169270, IN COOK COUNTY, ILLINOIS

PARCEL 2:
THE SOUTH 528.66 FEET OF THE WEST 600 FEET OF THE FOLLOWING DESCRIBED PARCEL: THAT PART OF THE EAST 3/4 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 AND OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN (TAKEN AS A TRACT) LYING WESTERLY OF THE WESTERLY LINE OF RAILROAD RIGHT-OF-WAY OF THE CHICAGO AND WISCONSIN RAILROAD (EXCEPTING FROM SAID TRACT OF LAND THAT PART THEREOF LYING NORTHERLY AND EASTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE WEST LINE OF THE EAST 3/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14 AFORESAID, 200 FEET SOUTH OF THE NORTHWEST CORNER OF SAID EAST 3/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 14; THENCE EAST ALONG A LINE 200 FEET SOUTH OF MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH SAID NORTH LINE OF THE EAST 3/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 685.89 FEET; THENCE SOUTHEASTERLY ALONG A DIAGONAL LINE A DISTANCE OF 500 FEET TO A POINT IN A LINE WHICH IS 140 FEET SOUTHWESTERLY OF MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE WESTERLY RIGHT-OF-WAY LINE OF SAID RAILROAD; THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE A DISTANCE OF 826.27 FEET TO THE INTERSECTION OF SAID PARALLEL LINE WITH THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 14; AND EXCEPTING FROM SAID TRACT OF LAND THOSE PARTS THEREOF DESCRIBED IN DEEDS TO THE COUNTY OF COOK REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS AS DOCUMENTS 1982200 AND 1982201 (EXCEPTING THAT PART FALLING IN STREETS), ALL IN COOK COUNTY, ILLINOIS.

AREA OF PROPERTY = 456,625 SQ. FT. OR 10.48 ACRES

| Legend: | |
|---------|---|
| ① | Storm MH |
| ② | Storm CB |
| ③ | Storm Inlet |
| ④ | Storm Inlet |
| ⑤ | San MH |
| ⑥ | San Storm Combo MH |
| ⑦ | San Clean Out |
| ⑧ | Water Valve Vault |
| ⑨ | Water MH |
| ⑩ | Water Buffalo Box |
| ⑪ | Water Hand Hole |
| ⑫ | Water Meter |
| ⑬ | Water Fire Hydrant |
| ⑭ | Telephone MH |
| ⑮ | Telephone Vault |
| ⑯ | Telephone Pedestal |
| ⑰ | Utility Pole |
| ⑱ | Guy Anchor |
| ⑲ | Electric Manhole |
| ⑳ | Electric MH |
| ㉑ | Electric Vault |
| ㉒ | Electric Hand Hole |
| ㉓ | Electric Pad |
| ㉔ | Electric Meter |
| ㉕ | Electric Pedestal |
| ㉖ | Electric Light Pole |
| ㉗ | Electric Traffic Signal |
| ㉘ | Electric Light Pole with Traffic Signal |
| ㉙ | Electric Traffic Control Box |
| ㉚ | Electric Traffic Vault |
| ㉛ | Electric Ground Light |
| ㉜ | Electric Mounted Wall Light |
| ㉝ | Gas Buffalo Box |
| ㉞ | Gas Hand Hole |
| ㉟ | Gas Meter |
| ㊱ | Gas Valve |
| ㊲ | Gas MH |
| ㊳ | Gas Vault |
| ㊴ | Cable TV Pedestal |
| ㊵ | Tree - Deciduous |
| ㊶ | Tree - Evergreen |
| ㊷ | Parking Meter |
| ㊸ | Parking Pay Box |
| ㊹ | Sign Post |
| ㊺ | Mail Box |
| ㊻ | Bumper Post |
| ㊼ | Bike Rack |
| ㊽ | Unclassified Manhole |
| ㊾ | Auto Sprinkler |
| ㊿ | Hose Connection |
| ⌚ | Fire Alarm |
| ⌚ | Flag Pole |

ASSUMED

This Survey was prepared based on Chicago Title Insurance Company Title Commitment 1401 00887402 D1 Effective Date: June 6, 2012 as to matters of record.

Surveyor's license expires November 30, 2016.

Schedule "B" Items:
Items #1-13, 22-25 & 28-33 are Not Matters of Survey

C 14. BUILDING LINES AS SHOWN ON THE PLAT OF IGINI SUBDIVISION ACCORDING TO THE PLAT THEREOF FILED JULY 16, 1980 AS DOCUMENT LR3169270 35 FEET FROM THE SOUTH LINE OF LAND. (AFFECTS PARCEL 1) - Plotted

D 15. EASEMENTS FOR PUBLIC UTILITIES AND DRAINAGE AS SHOWN ON THE PLAT OF IGINI SUBDIVISION ACCORDING TO THE PLAT THEREOF FILED JULY 16, 1980 AS LR3169270 OVER THE NORTH 15 FEET OF LOT 1. (AFFECTS PARCEL 1) - Plotted

E 16. EASEMENTS OVER NORTH 15 FEET FOR THE PURPOSE OF INSTALLING AND MAINTAINING ALL EQUIPMENT NECESSARY TO SERVE THE SUBDIVISION AND OTHER LAND WITH TELEPHONE AND ELECTRICAL SERVICE, TOGETHER WITH THE RIGHT TO OVERHANG AERIAL SERVICE WIRES AND THE RIGHT OF ACCESS TO SUCH WIRES, AS CREATED BY GRANT TO THE ILLINOIS BELL TELEPHONE COMPANY AND THE COMMONWEALTH EDISON COMPANY AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS AND AS SHOWN ON THE PLAT OF SUBDIVISION FILED JULY 16, 1980 AS LR3169270. (AFFECTS PARCEL 1) - Plotted

F 17. EASEMENTS OVER NORTH 15 FEET FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THE PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO, NO BUILDINGS OR OTHER STRUCTURES TO BE CONSTRUCTED OR ERECTED ON ANY SUCH EASEMENT AREAS, AS CREATED BY GRANT TO NORTHERN ILLINOIS GAS COMPANY AND ITS SUCCESSORS AND ASSIGNS AND AS SHOWN ON THE PLAT OF SUBDIVISION FILED JULY 16, 1980 AS LR3169270. (AFFECTS PARCEL 1) - Plotted

G 18. EASEMENT RESERVED FOR AND GRANTED TO THE VILLAGE OF WHEELING, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THE PLAT OF SUBDIVISION FILED JULY 16, 1980 AS LR3169270, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF SEWER, WATER MAINS AND DRAINAGE AND APPURTENANCES FOR THE PURPOSES OF SERVING ALL AREAS SHOWN ON SAID PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO, NO BUILDING OR OTHER STRUCTURE TO BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS OR PLACES NOR ANY OTHER USE TO BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED THEREBY. (AFFECTS PARCEL 1) - Plotted

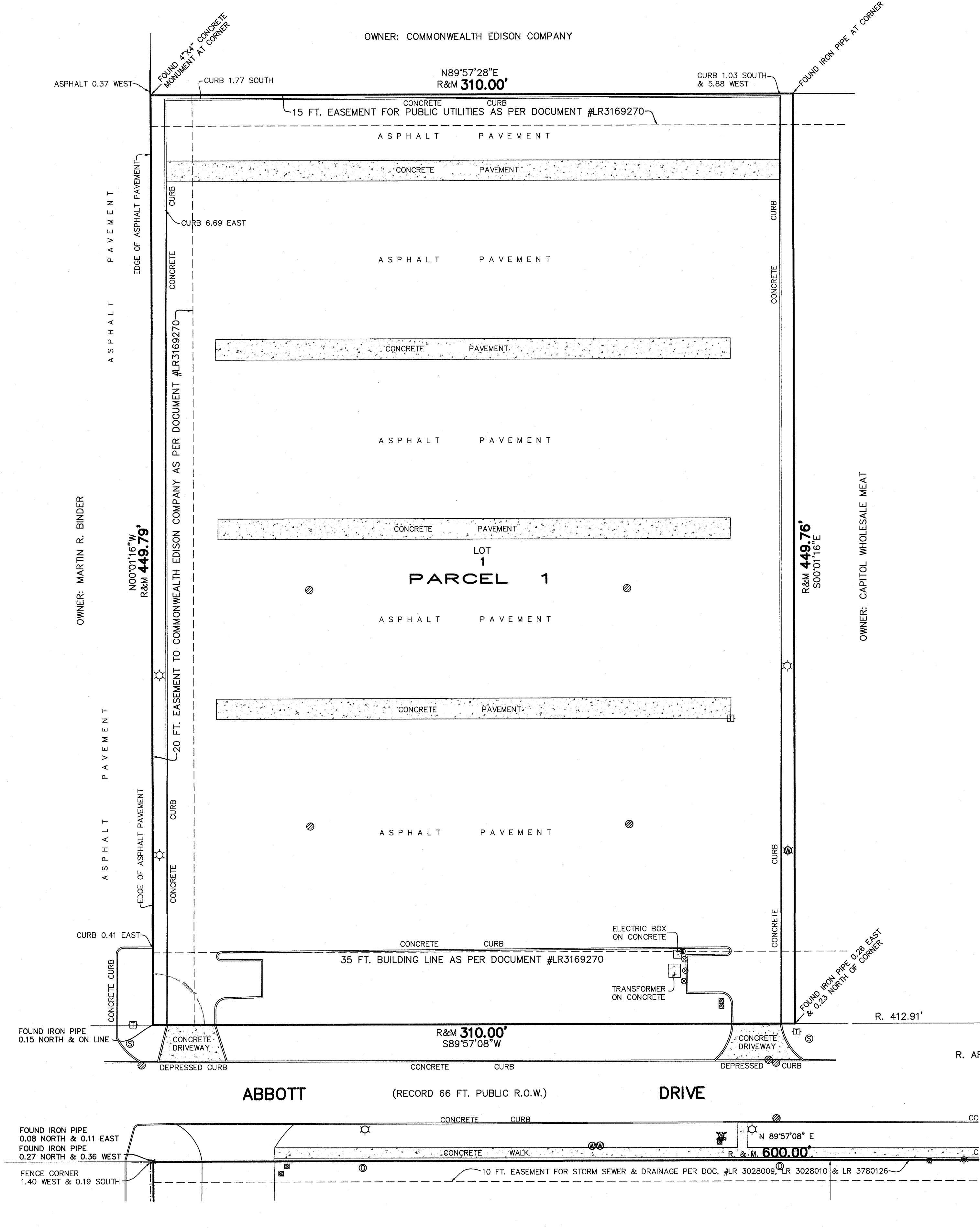
H 19. TERMS, PROVISIONS, CONDITIONS AND LIMITATIONS OF THE DECLARATION OF COVENANTS EXECUTED BY MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED APRIL 29, 1967 AND KNOWN AS TRUST NUMBER 670428, AND AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 1, 1971 AND KNOWN AS TRUST NUMBER 76312, DATED APRIL 8, 1980 AND FILED JULY 16, 1980 AS LR3169269, AND AMENDED AND RESTATED DECLARATION OF COVENANTS RECORDED APRIL 21, 1995 AS DOCUMENT 95285756 WHICH PROVIDES IN PART AS FOLLOWS:

(1) LOT 3 OF THE PROPOSED IGINI SUBDIVISION IS HEREBY RESERVED FOR WATER DETENTION PURPOSES AND SHALL REMAIN WITHOUT BUILDINGS OR STRUCTURES AT THE GRADE AND CONTOURS APPROVED BY THE VILLAGE OF WHEELING.
(2) DECLARANT SHALL HAVE THE RIGHT TO CONVEY TITLE TO LOT 3 TO AN ILLINOIS NOT-FOR-PROFIT CORPORATION, THE SHAREHOLDERS OF WHICH SHALL BE THE OWNERS OF LOTS IN IGINI SUBDIVISION, WHICH SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE WATER DETENTION FACILITY.

I 20. EASEMENT OVER THE WEST 20 FEET OF THE LAND GRANTED TO THE COMMONWEALTH EDISON COMPANY AS SHOWN ON THE PLAT OF IGINI SUBDIVISION ACCORDING TO THE PLAT THEREOF FILED JULY 16, 1980 AS DOCUMENT LR3169270. (AFFECTS PARCEL 1) - Plotted

J 21. ENCROACHMENT OF THE BLACKTOP LOCATED MAINLY ON THE LAND WEST AND ADJOINING OVER ONTO THE LAND BY 0.35 FEET. (AFFECTS PARCEL 1) - Removed (replaced by curb 0.41 east)

R 26. RESERVATION OF EASEMENTS OVER THE NORTHERLY 10 FEET AND THE SOUTHERLY 20 FEET OF THE LAND FOR STORM SEWER AND DRAINAGE FACILITIES PURSUANT TO THE DEEDS FILED JUNE 23, 1978 AS DOCUMENT NO. LR 3028009, LR 3028010 AND LR 3780126. (AFFECTS PARCEL 2) - Plotted



SURVEY NOTES:

PROPERTY APPEARS IN "OTHER AREAS" ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP COOK COUNTY, ILLINOIS, MAP NO. 1703102028J, EFFECTIVE DATE AUGUST 19, 2008.

REGARDING TABLE A ITEM 18 THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

Note R. & M. denotes Record and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

No dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

COPYRIGHT GREMLEY & BIEDERMANN, INC. 2012 "All Rights Reserved"

REVISED LEGAL DESCRIPTION AND ADDED LABELS JULY 14, 2015

CERT NAMES ADDED SEPTEMBER 7, 2012 AS PER ORDER #2012-16864

| | |
|---|-------------------------|
| ORDERED BY: RICHARD ROSENSTEIN | CHECKED: DRAWN: RL/RB |
| ADDRESS: 120 W. PALATINE ROAD | |
| GREMLEY & BIEDERMANN | |
| PLCS CORPORATION | |
| LICENSE NO. 184-005322 | |
| PROFESSIONAL LAND SURVEYORS | |
| 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 | |
| TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM | |
| ORDER NO. 2012-16588-001 | PAGE NO. 1 OF 2 |
| DATE: JUNE 28, 2012 | SCALE: 1 INCH = 30 FEET |

G:\CAD\2012\2012-16588\2012-16588-001.DWG

Exhibit received September 23, 2016

TO Chicago Title Insurance Company and 120 Palatine LLC, an Illinois limited liability company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 11(a) and 18 of Table A thereof.

The field work was completed on JUNE 28, 2012.

Date of Plat July 14, 2015

By: Robert G. Biedermann

Robert G. Biedermann
Professional Illinois Land Surveyor No. 2802

